



## **TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION**

### **ELECTRONIC MEETING**

Wednesday, February 3, 2021 6:00p.m.

---

#### **PUBLIC COMMENT**

Public comments will be received via conference line provided by Staff. All requests for public hearing or public comment will be accepted up to two (2) hours prior to the scheduled meeting start time.

This meeting can be viewed on the Town of Bluffton's Facebook page  
<https://www.facebook.com/TownBlufftonSC/>

#### **I. CALL TO ORDER**

#### **II. ROLL CALL**

#### **III. NOTICE REGARDING ADJOURNMENT**

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### **IV. NOTICE REGARDING PUBLIC COMMENTS\***

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. **COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

#### **V. ADOPTION OF AGENDA**

#### **VI. ADOPTION OF MINUTES – January 6, 2021**

#### **VII. ELECTION OF OFFICERS – Election for vice-chair and Historic Preservation Review Committee Member**

#### **VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA\***

#### **IX. OLD BUSINESS**

#### **X. NEW BUSINESS**

- A. Certificate of Appropriateness:** A request by Ansley Manuel, on behalf of the owner, Patricia Ellen Malphrus, for approval of a Certificate of Appropriateness to allow an addition of approximately 2,971 SF to the existing single-family structure of approximately 1,095 SF located at 114 Pritchard Street in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-12-20-014811) (Staff-Katie Peterson)
- B. Certificate of Appropriateness:** A request by Court Atkins Architects, on behalf of the owner, Herkus, LLC, for approval of a Certificate of Appropriateness to allow the construction of a new 2 1/2 -story Mixed-Use building of approximately 5,272 heated square feet located at 6 Marianna Way, Building 4 in the Old Village Square development, in the Old Town Bluffton Historic District and zoned Neighborhood General – HD. (Staff-Katie Peterson)(COFA-01-21-014892)

**XI. DISCUSSION**

No discussion.

**XII. ADJOURNMENT**

**NEXT MEETING DATE– Wednesday, March 3, 2021**

\* Public Comments may be submitted electronically via the Town’s website at (<https://bit.ly/TOBPublicComment> ) or by emailing your comments to the Growth Management Coordinator at [dmclain@townofbluffton.com](mailto:dmclain@townofbluffton.com). Comments will be accepted up to 2 hours prior to the scheduled meeting start time. All comments will be read aloud for the record and will be provided to the Historic Preservation Committee.

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities.

*EXECUTIVE SESSION - The public body may vote to go into executive session for any item identified for action on the agenda.*

Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.

# **TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION**

## **Electronic Meeting**

**Wednesday, January 6, 2021, Minutes**

---

**Present:** Bruce Trimbur - Chair; Courtney McNeil; Michael Lovecchio; Jesse Solomon, Mary Vaux Bell, and Kerri Schmelter

**Staff:** Katie Peterson, Senior Planner; Kevin Icard, Planning and Community Development Manager; Charlotte Moore, Principal Planner; and, Darby McLain, Growth Management Coordinator

---

### **I. CALL TO ORDER**

Chairman Trimbur called the meeting to order at 6:00 p.m.

### **II. ROLL CALL**

All members were present.

### **III. NOTICE REGARDING ADJOURNMENT**

The Historic Preservation Commission will not hear new items after 9:30 P.M. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 P.M. may be continued to the next regular meeting or an additional meeting date as determined by the Commission members.

### **IV. NOTICE REGARDING PUBLIC COMMENTS**

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to the Commission, Town Staff, and other members of the meeting. State your name and address when speaking for the record. **UNLESS OTHERWISE AMENDED BY THE HISTORIC PRESERVATION COMMISSION, COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

### **V. ADOPTION OF THE AGENDA**

Commissioner McNeil made a motion to adopt the agenda. Commissioner Solomon seconded the motion. All were in favor and the motion passed.

### **VI. ADOPTION OF MINUTES**

Commissioner Adams made a motion to adopt the December 2, 2020 Minutes. Commissioner Vaux Bell seconded the motion. All were in favor the motion passed.

## **VII. ELECTION OF OFFICERS**

Two officer positions, Vice-Chair, and Historic Preservation Review Committee (HPRC) at large member was vacant.

Chairman Trimbur nominated Commissioner Gallagher-Adams for vice-chair who accepted the nomination. Solomon motioned to approve; McNeil seconded the motion. All were in favor and the motion passed.

Chairman Trimbur requested nominations for the HPRC at large member.

Solomon asked if it was necessary to attend all Monday HPRC meetings. Peterson said that attendance was encouraged, however, as it is not a voting board and no action may be taken, is not necessary, comments are requested prior to the meeting date via email to the project manager.

Vice-Chair Gallagher-Adams nominated Commissioner Solomon, who accepted the nomination. Commissioner McNeil seconded the motion. All were in favor and the motion passed.

## **VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA**

There were no public comments.

## **IX. OLD BUSINESS**

There was no old business.

## **X. NEW BUSINESS**

**A. Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owners Gerard and Beth Ronski, for approval of a Certificate of Appropriateness to allow the addition of an 85 SF golf cart bay and 600 SF second story addition to the existing one-story 514 SF Carriage House located at 5806 Yaupon Road, Lot 20A in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-10-20-014698) (Staff – Katie Peterson)

Peterson presented the information to the Commission, which is incorporated into these minutes.

Chairman Trimbur asked Amanda Jackson Denmark, the Applicant, about changes necessary to foundation to support the proposed second story. She stated that any required modifications would be done on the inside and it is in the engineering process now.

Vice-Chair Gallagher-Adams asked about the “bump-out.” Denmark explained that there was a desire to not make the main mass larger and taller while still gaining the square footage.



Vice-Chair Gallagher-Adams made a motion to approve the application as submitted. Commissioner Solomon seconded the Motion. All were in favor and the motion passed.

- B. Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owner Kate Eagen, for approval of a Certificate of Appropriateness to allow the construction of a 1.5-story single-family residential structure of approximately 2,117 SF and a 2-story Carriage House of approximately 1,172 SF located at 5718 Guilford Place, Lot 45 in the Stock Farm Development in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-10-20-014673) (Staff – Katie Peterson)

Peterson presented the information to the Commission, which is incorporated into these minutes.

While Peterson was presenting the landscape plan, Commissioner Solomon asked if the dashed line on the plans was for propane. Denmark responded that she did not know what that was. Chairman Trimbur added that the neighborhood has natural gas so it would not be propane.

Commissioner Gallagher-Adams made a motion to approve the application with the following conditions:

1. Per Section 5.3.3.A.1 of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH.
2. Provide clarification on the 6" magnolia shown to stay on the site plan but removed on the landscape plan.
3. The HPC determined the columns may be approved as submitted due to the turn in the porch at the northwest corner and columns at the utility room may stay due to the constraint placed on the porch width clearance necessary for the washer and drier and the building code distance requirement for the locations of the door in proximity to the stairs.
4. Per Section 5.15.6.I. of the UDO, the exterior door style must be specified by owner prior to approval and Note 4 on the door schedule updated.
5. Per Section 3.2.2.E. of the UDO, a Grading Plan for the site is required for review as not enough information was provided at time of submittal.

Commissioner Solomon seconded the motion. All were in favor and the motion passed.

- C. Certificate of Appropriateness - HD:** A request by Webb Construction, on behalf of the owner Ernie Suozzi, for approval of a Certificate of Appropriateness to allow the construction of a 1.5-story-single-family

residential structure of approximately 1,954 SF and a 1-story Carriage House of approximately 352 SF located at 20 Meriwether Court, Lot 3 in the Landen Oaks Development in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-10-20-014694) (Staff- Katie Peterson)

Peterson presented the information to the Commission, which is incorporated into these minutes.

Chairman Trimbur asked if this structure could be a 2-story building. Peterson responded that as an Additional Building Type, it would not be permitted to be a two-story structure, it would be a Village House Building Type, which has increased setbacks. Peterson explained that while it may still classify as a 1.5-story structure, not enough information was provided by the Applicant to calculate the area which would have a possible head room of at least 5 feet. If the Applicant wishes to main the setbacks as shown on the Site Plan, the second story must not exceed 70% of the story beneath it.

Westmark, as the representative of the Applicant, stated that the conceptual application submitted was a Village House, but has since revised the application to be an Additional Building Type to be able to meet the setback requirements. Peterson noted that the conceptual application did not meet the setbacks for either building type.

Commissioner Solomon made a motion to approve the application with the following conditions:

1. Per Section 5.15.6.H. of the UDO, an additional column must be added to the to be spaced no farther apart than they are tall on the second-story porch, at the back of the house on the left elevation.
2. Per Section 5.15.5.C. The second-floor square footage must be updated, to be no more than 1.5 stories as defined by the UDO, and additional information must be provided regarding the possible floor area with head room of 5 feet or more.
3. The HPC determined that per Section 5.15.6.A the round window was appropriate for the gable, in conjunction with the rest of the detailing in the eaves, as a substitution for the window shapes listed in Section 5.15.6.I. of the UDO.

Vice-Chair Gallagher-Adams seconded the motion. All were in favor and the motion passed.

## **XI. DISCUSSION**

## 1. Discussion Regarding Building Size in Old Town Bluffton Historic District.

Moore presented information to the Commission, which is incorporated into these minutes.

Moore spoke about proposed amendments to the Main Street and Additional Building Types within the Neighborhood Center-HD zoning district (NCE-HD). The amendments are a response to Town Council's concern that certain building types in the NCE-HD district may be too large and are incompatible with the character of Old Town.

For the Main Street Building Type, the amendments included establishing differing building size ranges, square footages and heights (in stories) for the NCE-HD district and the Neighborhood Core-HD zoning district (NC-HD). Moore stated this was proposed as the character of the NCE-HD district was different than the NC-HD District, which includes developments like Promenade.

Moore also discussed proposed amendments to the Front Build-to Zone and Side Setback for the Main Street and Additional Building Types. The Front Build-to Zone for both building types is proposed to a minimum of 10 feet and a maximum of 25 feet. This would allow larger buildings to be set back from the public right-of-way and be less overwhelming to the adjacent streetscape. The area in front of the building may serve as seating or outdoor dining areas. Additionally, Moore said the amendment proposed the Side Setback for the Additional Building Type be increased from a minimum of five feet to a minimum of eight feet, consistent with the Main Street Building Type.

Amendments to the building footprint and size for Additional Building Types in all -HD zoning districts were also proposed to prevent the maximum size from exceeding the greatest maximum building size and footprint allowed by any of the other permitted building types in the same zoning district.

Commissioner Gallagher-Adams stated that the building size range was decreased too substantially given the proposed footprint, and said that changing the permitted number of stories won't make much of a difference as the limits on stories are broad. The proposed setback for the front build-to zone seems too substantial and suburban for a Main Street setting, like Calhoun Street, and the maximum depth of the Front Build-to Zone should be no more than 10 feet.

Commissioner Solomon expressed concern with the current Front Build-to Zone with regards to the proximity of buildings to the sidewalks on Calhoun Street, which are no more than five feet. The amount of space does not provide enough room for pedestrians. An increased setback would allow the area to be used for other activities. Mt. Pleasant as an "activation" requirement for this space, as do other communities. He also mentioned that staff should look at buildings

“that work” and determine their square footages. It was also suggested that height could be measured to the ridgeline.

Chairman Trimbur asked about flat walls. Peterson replied that the UDO has requirements to prevent unarticulated blank facades.

Vice-Chair Gallagher-Adams suggested the building at Calhoun Street and Bridge Street is an ideal height, with a reduction of two feet, to use as the maximum height. Commissioner Vaux-Bell felt that the newest buildings should not be used as precedent.

There was agreement among the Commission that additional work is necessary with regards to building size.

No action was taken as this item was for information only.

## **XII. ADJOURNMENT**

Commissioner McNeil made a motion to adjourn the January 6, 2021 Historic Preservation Commission meeting. Vice Chair, Gallagher-Adams, seconded the motion, and all were in favor. The meeting was adjourned at 8:13 p.m.

# HISTORIC PRESERVATION COMMISSION



---

## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	February 6, 2021
<b>PROJECT:</b>	114 Pritchard Street– Addition to Single-Family Residential
<b>APPLICANT:</b>	Ansley H. Manuel, Architect
<b>PROJECT MANAGER:</b>	Katie Peterson, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Ansley H. Manuel, on behalf of the owner, Patricia Ellen Malphrus, requests that the Historic Preservation Commission approve the following application:

1. **COFA-12-20-014811.** A Certificate of Appropriateness for the addition of approximately 2,971 SF to the existing single-family structure of approximately 1,095 SF located at 114 Pritchard Street in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD.

**INTRODUCTION:** The Applicant is proposing the construction of a 2,971 SF addition to the existing primary structure located at 114 Pritchard Street in the Old Town Bluffton Historic District. According to Beaufort County records, the single-family residence was originally constructed in approximately 1970. It has not been identified as a Contributing Structure within the Old Town Bluffton Historic District. While the existing structure likely classifies as a Cottage Building Type, the structure, with the proposed addition will not meet one of the permitted Building Types for the Neighborhood Conservation-HD zoning district, and therefore shall be reviewed as an Additional Building Type in accordance with Section 5.15.5.C. of the Unified Development Ordinance (UDO).

The existing block structure is housed under a side-facing gable roof with two gabled projections to the front and a full-length rear porch under a shed roof. While most of the structure is painted concrete block, a small section on the south elevation and the gabled ends have wood siding. (See Attachment 6)

The addition, which will be connected to the existing structure to the south by a small gabled hyphen, is a one and a half-story structure. The central mass is under a forward-facing gable roof surrounded on three sides by a one-story hip shed roof which is over the three sides not facing Heyward Cove. The rear (west) elevation, which faces towards Heyward Cove has an open balcony over the rear screened in porch.

The materials proposed include vertical board and batten siding on the first floor with cedar shake on the second story. It features 5V crimp metal roofing to match the existing roof of the existing structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the January 4, 2021 meeting and comments were provided to the Applicant (See Attachment 5).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
  - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes an addition to an existing single-family residential structure within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The addition proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
  - c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The proposed addition will continue to provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* Town Staff finds that the design of the structure falls within the category of Additional Building Type within the Neighborhood Conservation Historic District per Section 5.15.5.D. As the Commission with approval authority in accordance with article 2 of the UDO, the HPC has final approval authority on the appropriateness of an Additional Building Type within this zoning district. Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
  - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
    - 1) Section 5.15.5.F.4. Building Composition (Proportion, Alignment, Rhythm, and Spacing). Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows, and doors must be proportional to other features of the building as well as the overall building form. The Applicant's Narrative notes the chimney on the new addition has been changed to Old Savannah or Charleston brick with similar detailing and cap design to echo the detail on the existing structure. The roof material is proposed to be the same 5V crimp metal. They have also proposed a painted CMU foundation to match the existing structure (see comment 6).

In addition to the elements from the existing structure brought to the new addition, they have proposed to replace the existing wood siding (found on what will become the courtyard near the connection of the two structures) on the existing structure with board and batten on the majority with cedar shake on the gabled ends. Town Staff requests the HPC determine if these additions establish a relationship between the two structures, so they appear to have similar character to meet the intent of this section.

- 2) Section 5.15.6.H.2.d. Columns, Arches, Piers, Railings, Balustrades. Railings and balusters are permitted to be Wood (termite resistant), painted or natural Wrought or Cast Iron. Detail B on page A9 notes the railing section to have a teak handrail with stainless steel cable. The Applicant is requesting the HPC allow the use of this material as a substitute material for those listed as options under the Architectural Standards as permitted by Section 5.15.6.A. of the UDO.

Section 5.15.6.A. notes that the UDO Administrator, in this case the HPC as the approval authority for Certificate of Appropriateness-HD Applications, shall have authority to approve substitute materials for those listed as options under the Architectural Standards as an additional reference for architectural standards, refer to Traditional Construction Patterns, by Stephen Mouzon (McGraw Hill, 2004).

- 3) Section 5.15.6.I.3.a Windows and Doors. Windows are permitted to be square, rectangle, transom, or sidelight. The plans propose a circular window on the east elevation and two right trapezoids on the west elevation. The Applicant is requesting the HPC allow the use of this material as a substitute material for those listed as options under the Architectural Standards as permitted by Section 5.15.6.A. of the UDO.
- 4) Section 5.15.5.F.1.c. General Standards. The first-floor finish height must be 3 feet above the average adjacent sidewalk grade. While there is no sidewalk, the measurement shall be taken from the where the sidewalk would exist along Pritchard Street. As this is an addition to an existing structure, the Applicant is requesting a deviation from the requirement of the 3-foot finished floor height. Staff recommends the deviation be allowed, however, requires that the finished floor height, at least from adjacent grade, for the existing structure be labeled on the elevations to ensure the addition will match at time of construction.
- 5) Section 5.15.6.E.5.c. Porches. Porches are required to have a minimum height of 30 inches minimum from the adjacent grade to the top of stairs. The narrative estimates the top of stair is at approximately 2 feet 3 inches, 9 inches less than requirement. The porch height must be raised. The height of the porch must be increased to meet this requirement.
- 6) Section 5.15.6.G.1.a. Building Walls. Exposed foundation walls (below the first-floor elevation) shall be Brick done in bond patterns; Painted brick; Tabby stucco (mixed shell size only); or Stucco over block or concrete (sand-finished or steel trowel only). The application proposes the foundation be concrete block sealed and painted to match the existing cottage in lieu of tabby or stucco. While this is not a permitted configuration, the Applicant is



requesting the HPC allow the use of this material as a substitute material for those listed as options under the Architectural Standards as permitted by Section 5.15.6.A. of the UDO.

- 7) Section 5.15.7.D.1. Parking. In no case shall parking be located in front of a building. The plan proposes a new gravel drive, with a parking area towards the southwest side of the property line. The parking area is not behind the front plane of the structure and must be relocated to the side or rear of the structure.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

*Finding.* Town Staff finds that nature and character of the addition to the existing structure is consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the addition is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the addition to a single-family residential structure built in approximately 1970 in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the addition, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete, however, the following items must be addressed prior to approval of this application.

- 1) Per Section 3.22.2.A., a Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single-family lot and proposed for removal.
- 2) Per Section 5.3.3.G., the landscape plan must be updated to show the site meets the 75% lot coverage with tree canopy measured as the mature canopy, not included rooftops.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted

by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.5.F.4., the HPC must determine if the overall building proportions and individual building features have a proportional relationship with one another.
2. Per Section 5.15.6.A., the Applicant is requesting a determination on the appropriateness of the use of Stainless-Steel Cables in the railings as a substitute material for those listed in Section 5.15.6.H.2.d. of the UDO.
3. Per Section 5.15.6.A., the Applicant is requesting a determination on the appropriateness of the use of a circular window on the east elevation as a substitute material for those listed in 5.15.6.I.3.a of the UDO.
4. Per Section 5.15.6.A., the Applicant is requesting a determination on the appropriateness of the use of two right trapezoid windows on the west elevation as a substitute material for those listed in 5.15.6.I.3.a of the UDO.
5. The Applicant requests a determination on the appropriateness of the first finished floor height below 3 feet to match the existing structure. Staff requests a height be added to the elevations, should this be permitted, to ensure it matches at time of construction.
6. Per Section 5.15.6.E.5.c., the porch height must be increased to have a minimum height of 30 inches minimum from the adjacent grade to the top of stairs.
7. Per Section 5.15.6.A., the Applicant is requesting a determination on the appropriateness of the use of a concrete block sealed and painted to match the existing cottage foundation as a substitute foundation material for those listed in Section 5.15.6.G.1.a. of the UDO.
8. Per Section 5.15.7.D.1. the parking area must be relocated to the side (behind the front plane of the structure) or rear of the structure.
9. Per Section 3.22.2.A., a Town of Bluffton Tree Removal Permit must be obtained for any tree 14" (DBH) or greater located on a single-family lot and proposed for removal.
10. Per Section 5.3.3.G., the landscape plan must be updated to show the site meets the 75% lot coverage with tree canopy measured as the mature canopy, not included rooftops.

**ATTACHMENTS:**

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Application and Plans
5. HPRC Comments





# Location Map - 114 Pritchard Street







# Zoning Map - 114 Pritchard Street





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

ATTACHMENT 3  
 Growth Management Customer Service Center  
 20 Bridge Street  
 Bluffton, SC 29910  
 (843)708-4822  
[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)  
[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: <i>Ansley H. Manuel, Architect</i>	Name: <i>Patricia Ellen Malphrus</i>		
Phone: <i>843. 338. 8932</i>	Phone: <i>843. 757. 5064</i>		
Mailing Address: <i>104 Pritchard Street Bluffton, SC 29910</i>	Mailing Address: <i>114 Pritchard Street Bluffton, SC 29910</i>		
E-mail: <i>manuel.studio@aol.com</i>	E-mail: <i>ellenmalphrus@gmail.com</i>		
Town Business License # (if applicable):			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/gis/">http://www.townofbluffton.us/gis/</a> )			
Project Name: <i>Malphrus Fishkind Addition</i>	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Location: <i>114 Pritchard Street</i>	Application for:		
Zoning District: <i>Neighborhood Conservation</i>	<input type="checkbox"/> New Construction		
Acreage: <i>1.120</i>	<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): <i>R61003900A0054000</i>	<input type="checkbox"/> Relocation or Demolition		
Project Description: <i>Attach an addition on the South side of an existing cottage</i>			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>[Signature]</i>		Date: <i>7 January 2021</i>	
Applicant Signature: <i>[Signature]</i>		Date: <i>7 January 2021</i>	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
<b>Step 3. Review by UDO Administrator and HPC</b>	<b>Staff</b>
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### APPLICATION CHECKLIST

ATTACHMENT 3

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### APPLICATION CHECKLIST

ATTACHMENT 3

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted. <i>N/A</i>
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>PRELIMINARY DEVELOPMENT PLAN APPLICATION:</b> Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**  
**ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

  
 Signature of Property Owner or Authorized Agent

*7 January 2021*  
 Date

*Ansley H. Manve*  
 Printed Name





# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### PROJECT ANALYSIS

ATTACHMENT 3

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): <i>Vernacular House</i>					
Building Setbacks		Front: <i>35'</i>	Rear: <i>58'</i>	Rt. Side: <i>10'</i>	Lt. Side: <i>10'</i>
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)	<b>Existing Square Footage</b>		<b>Proposed Square Footage</b>	
Main Structure	<i>Main House</i>	<i>1092</i>		<i>4,063 (overall) 2,971 (addition)</i>	
Ancillary	<i>Porches</i>	<i>192</i>		<i>1,233 (overall) 1,041 (new)</i>	
Ancillary	<i>Sheds</i>	<i>1073</i>		<i>1073</i>	
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>		
Building Footprint(s)			<i>5504</i>		
Impervious Drive, Walks & Paths					
Open/Covered Patios					
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			<i>5504</i>		
<b>B. TOTAL SF OF LOT</b>			<i>48,787</i>		
<b>% COVERAGE OF LOT (A/B= %)</b>			<i>11%</i>		
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	<i>painted CMU</i>	Columns	<i>solid wood</i>		
Walls	<i>lower - cypress board + batten wood shingles</i>	Windows	<i>aluminum clad casement</i>		
Roof	<i>5V crimp metal</i>	Doors	<i>natural wood</i>		
Chimney	<i>brick to match existing chimney</i>	Shutters	<i>N/A</i>		
Trim	<i>cypress</i>	Skirting/Underpinning	<i>N/A</i>		
Water table		Cornice, Soffit, Frieze	<i>tongue + groove pine</i>		
Corner board	<i>cypress</i>	Gutters	<i>copper</i>		
Railings	<i>teak</i>	Garage Doors	<i>N/A</i>		
Balusters	<i>stainless steel cable</i>	Green/Recycled Materials	<i>N/A</i>		
Handrails	<i>teak</i>				

## PROJECT NARRATIVE FOR ELLEN MALPHRUS AND ANDREW FISHKIND

ATTACHMENT 3

Back in December of 1994, Ellen Malphrus purchased the property at 114 Pritchard Street. The cottage built in 1970 was formerly occupied by the late Mary Garrard Mackin (born 1918 and died 1988). Mackin's paintings of local Bluffton life are collectibles and she was well known in the art circles of the 1980s.

Malphrus is an accomplished writer and college professor. As a single woman, the cottage served her needs well. It was quite, cozy and provided quaint views of Heyward Cove and the May River. Once Andrew Fishkind came into Malphrus' life, the two married and eventually rented the house next door using the cottage for guest accommodations and studios.

Now the time has come to focus on making the house function for their living needs. The proposal is to keep the existing cottage intact with minor renovations to connect to a new addition on the left side. This is a heavily treed lot with the new addition sited in mostly open area with one palmetto tree to be relocated and one laurel oak to be removed.

The property is zoned Neighborhood Conservation and the building type is Vernacular House. Recently the project was granted variance for a 58 foot building setback from the OCRM line along Heyward Cove.

The addition will have a central two-story timber frame structure with a wrap around one story of porches and enclosed secondary rooms. The wrap around roof fascia is inline with the existing cottage fascia to keep an eye level horizontal continuity. There is a poetic rambling nature to the design that can be found in numerous riverfront homes especially near the Oyster Factory as many weekend cottages grew with the demands of family inhabitants either wanting more guest facilities or becoming full time occupants.

It is quirky. It is eccentric. It has character and charm. It is Bluffton.

## Plan Review Comments and Response from Owner /Architect - Jan. 7, 2021

Property : Ellen Malphrus - 114 Pritchard St, Bluffton

Staff Review & Owner Architect Comments - 12.4.2021

1. Windows are permitted to be square, rectangle, transom or sidelite. The plans propose a circular window on the east elevation and two right trapezoids on the west elevation. Windows must be revised to meet this requirement. (UDO 5.15.6.I.3.a.)

*Response to Proposed Circular Window:*

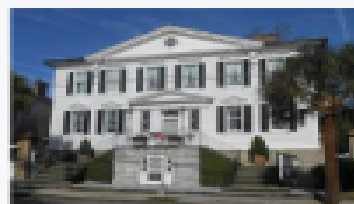
*We would ask that the the review board grant a variance from the the UDO for one round window, as we have envisioned this one traditional round window as a tribute to the historic architecture of the south. Below are 3 examples of a single round window located in the peak of the gable of historic structures in Beaufort & Charleston.*



The main house at Boone Hall



National Historic Landmark District  
Contributing Property



Gibbs House

*Response to (2) Cove Side Gable End Trapezoid Windows:*

*We would ask that the the review board grant an exception from the the UDO regarding the 2 trapezoid windows on the cove side or west elevation of the house as they are critical to our goal of bringing the outside in. We are building our new home as a timber structure using Eastern White Pine & North Carolina Hemlock. The benefit of building a timber structure is that aside from the inherent beauty of seeing the bones of your home built of the finest natural and local materials, we can maximize the useful area of the interior, and the gable ends are not filled with framing materials and solid wall construction, making these windows possible.*

*There are other homes in Martin's Place just on the other side of Pritchard St. with prominent Trapezoid windows, our's could not be seen by anyone, ever, because of the way the house is situated on the cove side so they would be setting no precedent.*



2.The UDO requires that porch posts shall be spaced no farther apart than they are tall. Columns are proposed as further apart on center than they are tall on the west elevation. The column placement must be revised to meet this requirement. (UDO5.15.6.H.1.a. and Traditional Construction Patterns Section 52)

*Okay - We have added an additional column as recommended by the Review Team*

3.The first floor finish height must be 3 feet above the average adjacent sidewalk grade. While there is no sidewalk, the measurement shall be taken from the where the sidewalk would exist along Pritchard Street. Provide elevation of adjacent sidewalk grade to confirm that the finished floor is 36" above grade. (UDO Section 5.15.5.F.1.c.)

*Response to Building Height in relation to a Non-Existent Sidewalk:*

*Pritchard Street is one of the last dirt and oyster shell roads left in Bluffton. We have been assured by our city planners and leaders, that the street will remain unpaved and without sidewalks as a matter of preservation and honoring bygone days. The relationship between our proposed house and existing cottage elevation, and a non-existent sidewalk is difficult to understand. The existing Cottage finish floor is around 23' above sea level and the road is at 20' above sea level. We would ask that the Review Board allow the new addition's finished floor to match that of the existing floor. As we understand from our meetings with the preliminary review team, one of the design criteria goals of the UDO is to honor the original structure and have the new addition and the existing be as cohesive as possible. To raise the elevation of the new structure above the existing cottage, would dwarf the cottage, aside from being a tremendous disappointment to the flow of the house. Also, we are building this addition with full consideration of its livability as we grow older. A change in elevation between our bedroom and the living area would defeat this goal.*

4.Porches are required to have a minimum height of 30 inches minimum from the adjacent grade to the top of stairs. The proposed height to top of stairs is 2' 3". The height of the porch must be increased to meet this requirement. (UDO Section 5.15.6.E.5.c.)

*Response:*

*The estimated top of stair at the east elevation was drawn in at 2'-3" above grade, just 9" shy of the 30" requirement. The property slopes down steadily towards the south (Water Street) and it necessary the porch stair could be lengthened to achieve the 30" requirement.*

5.Provide additional information to clarify the finish of the stucco proposed on the foundation and chimney (tabby, sand-finished, and steel trowel are permitted). (UDO 5.15.6.G.1.a.)

*Response:*

*In an effort to comply with the continuity goals of the UDO regarding tying in old to new, we have changed the chimney to an old savannah brick to match the existing cottage chimney and would suggest that the existing foundation wall be constructed of concrete block sealed and painted to match the existing cottage construction in lieu of tabby or stucco as there is none on the existing.*

6. Additional information must be provided on the walls behind the screened area on the west elevation as there is not enough information to complete review. (Applications Manual)

7. Building heights and widths shall be visually similar to those in the neighboring vicinity. As the addition to this structure is more than double the size of the existing structure, additional information showing the scale of the proposed in relation to the neighboring properties must be provided. (UDO 5.15.5.F.1.a.)



Manning House - Directly Across the Street



125 Pritchard Street - 2 Story with  
Garage 32+' above grade - Very Large  
Home



Home with frontage in Martin's Place  
and Back Side on Water Street

8. At time of final submittal, a landscape plan showing foundation buffers, canopy coverage, and street trees must be provided for review. (Applications Manual)

*Response: Okay Drawing's have been further detailed with a Landscape Plan*

9. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).

*Response: Okay*

*Our goal is to preserve our ample trees and gardens. We will request a permit for any tree that must be removed.*

10. The site plan shows a carport proposed to be inclosed. No information on the carport was provided. Additional information must be provided for review.

*Response: Carport will be left as is for the time being.*

11. Railings are permitted to be wood (termite resistant), painted or natural wrought or cast iron. The plans note the use of cable railings on the second story balcony on the west elevation. Railings must be revised to meet this standard. (UDO 5.15.6.H.2.d.)

*Response:*

*We would ask the review board to please consider allowing the use of Stainless Steel Cable Railing on the second story balcony on the west elevation facing Heyward Cove. The balcony is in the plan as an open deck to be for observation of wildlife and to enjoy the cove. A cable railing offers the least obstruction to the view and has been used on other recent projects in Bluffton. The most recent example is on the Cunningham Residence, located just one cove down from Heyward Cove. Again, the cove/west side of the house cannot be seen from any street.*

12. In no case shall parking be located in front of a building. The plan proposed a new gravel drive, all of which is located in front of the primary structure. The driveway must be reconfigured to allow parking to be located on the side or the rear of the structure. (UDO 5.15.7.D.1.)

*Response:*

*We will Comply -*

*We have revisited the driveway and parking at the request of the Preliminary Review Team and have studied the existing landscape. We would propose that 2 parking spaces be carved into the heavily landscaped buffer between our property and Water Street on the south side of the new addition, being cautious not to disrupt the natural grade, as this area is a critical natural drainage into the river. The existing trees and mature landscaping are essential to providing a natural buffer to Water Street and the OCRM Buffer.*

*Since the "back" of the house actually fronts the cove, this is the only reasonable solution.*

*The driveway and parking will be pervious to match existing shell mix.*



## Proposed Pervious Driveway and Parking Plan



PROPOSED PARKING AS REQUESTED BY REVIEW TEAM. THIS AREA IS HEAVILY LANDSCAPED W/ CAMELLIAS & AZEALIAS PLANTED 30 TO 50 YEARS AGO. WE WOULD PROPOSE THAT (2) PARKING SPACES BE CARVED INTO THIS AREA, AND NOT DISRUPT THE NATURAL DRAINAGE THAT OCCURS WHERE OUR PROPERTY ADJOINS WATER STREET.

13. Provide additional information on the existing chimney to ensure the proposed has a visual relationship to the existing. Additionally, provide additional information on the proposed chimney cap. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, or pre-fabricated chimney caps are not permitted. (5.15.6.E.8.d.)

## Response:

The existing chimney is constructed of brick and has a metal chimney cap. We propose that the new Chimney be constructed of brick, similar to Old Savannah or Charleston traditional material, with a similar metal cap to ensure continuity with the old & new.



14. At time of final submittal provide architectural details of the railing and baluster, a typical window detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)

## Response:

Included in this submittal

1. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. Based on the plans submitted, the existing structure does not have many elements which tie it to the proposed addition - possible chimney detailing and a metal roof. Provide detailing showing the relationship between the addition and the existing structure. Additionally, additions, connective wings, and outbuildings shall be secondary to the primary form. Provide additional information showing how the exiting structure will be prominent. (UDO 5.15.5.F.4. and UDO 5.15.5.F.4.a.)

## Response to Overall Comments:

As discussed in our Preliminary Review Meeting, the existing concrete block cottage does not have bold architectural features to incorporate into the new addition, but there are subtle elements that are culturally of value, and should be carried into the new structure to honor the existing building and create a cohesive blend of new and old.

*Response to Overall Comments - continued*

*Elements of construction and design to bring into the new building:*

- *Use of brick for the new chimney - Old Savannah or Charleston brick to echo in tone and detail. Masonry details, and cap design would be similar.*
- *We intend to use the same 5v crimp Galvalum roofing material as the existing cottage.*
- *The new addition has board and batten siding on the first floor and cedar shakes above. At the recommendation of the Preliminary Review Team we would suggest replacing the existing wood siding on the cottage with board and batten on the main level and cedar shake on the existing gable ends.*
- *To further bring the cottage elements into the new addition, we would propose that the foundation walls be painted concrete block to match the cottage. This will create a harmonious flow across the entire house.*







DATE :  
1/8/21

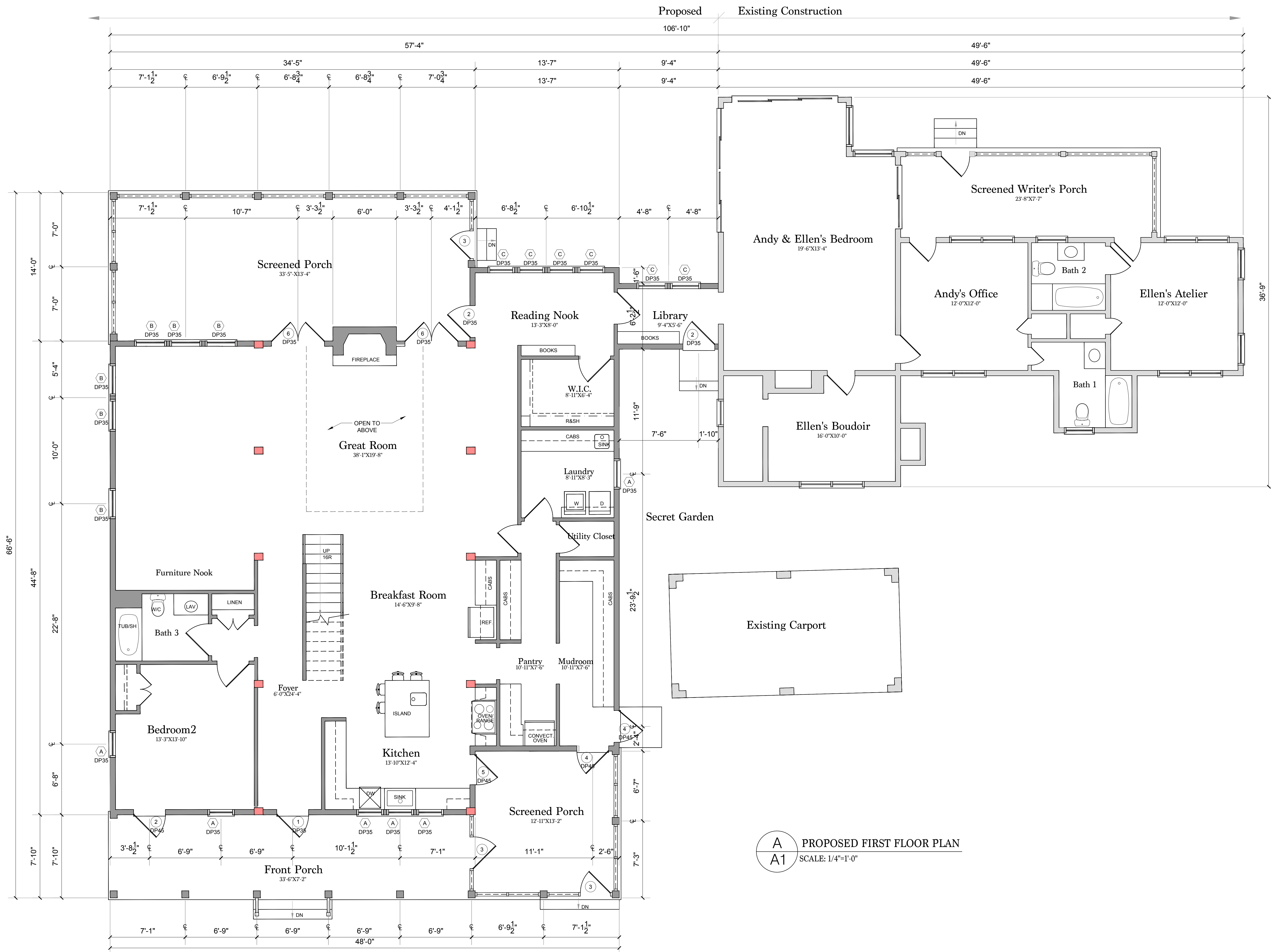
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

THE MALPHRUS/FISHKIND RESIDENCE  
114 PRITCHARD STREET  
BLUFFTON, S.C.

---

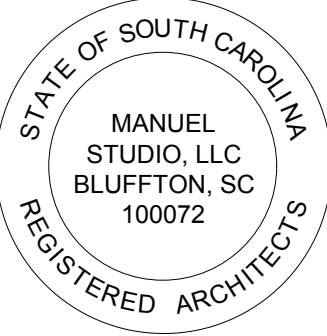
PROPOSED FIRST FLOOR PLAN

SHEET  
A1



A PROPOSED FIRST FLOOR PLAN  
A1 SCALE: 1/4"=1'-0"





DATE :  
1/8/20

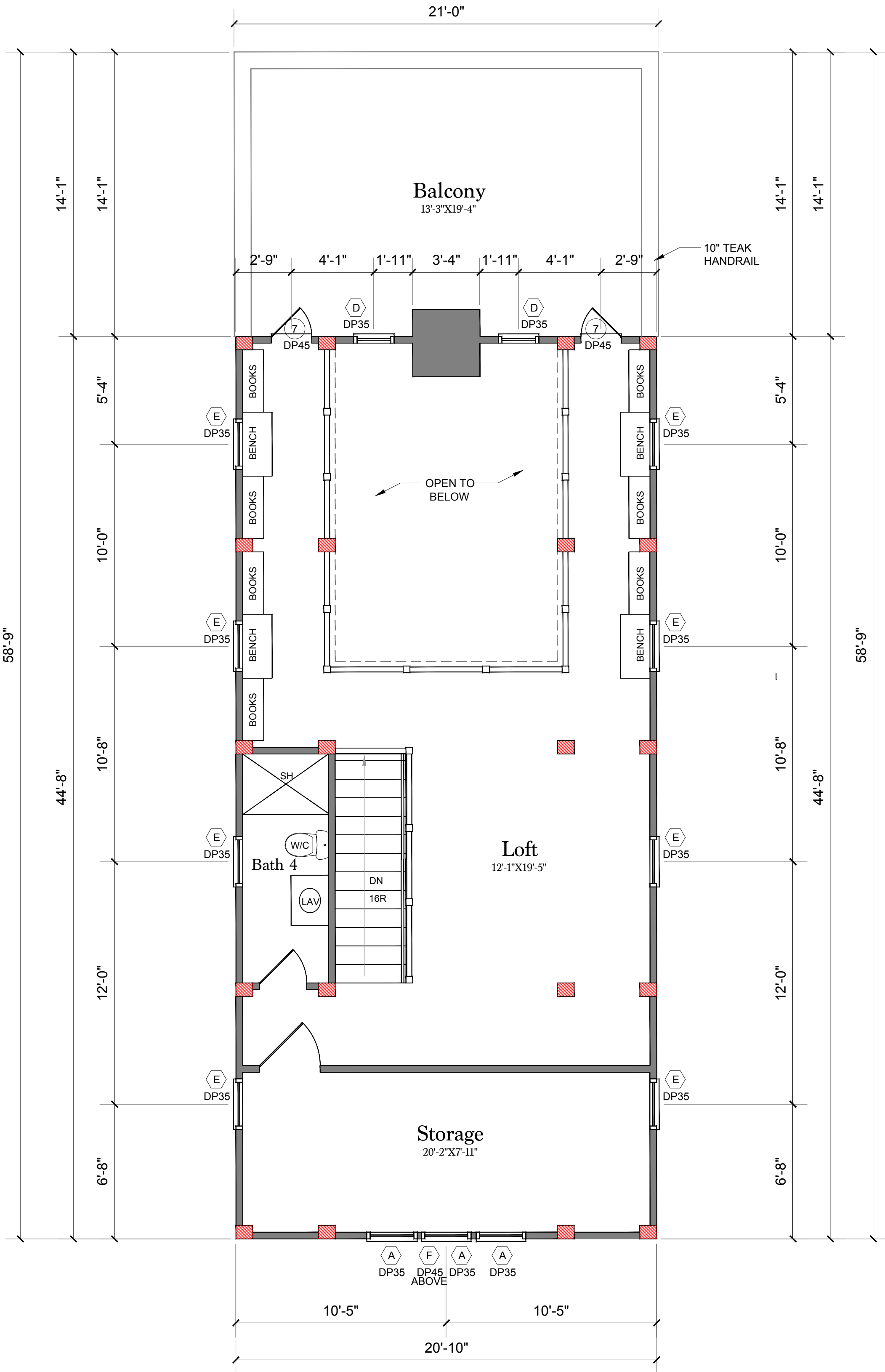
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS & RENOVATIONS TO  
**THE MALPHRUS/FISHKIND RESIDENCE**  
114 PRITCHARD STREET  
BLUFFTON, S.C.

PROPOSED SECOND FLOOR PLAN

SHEET

A2



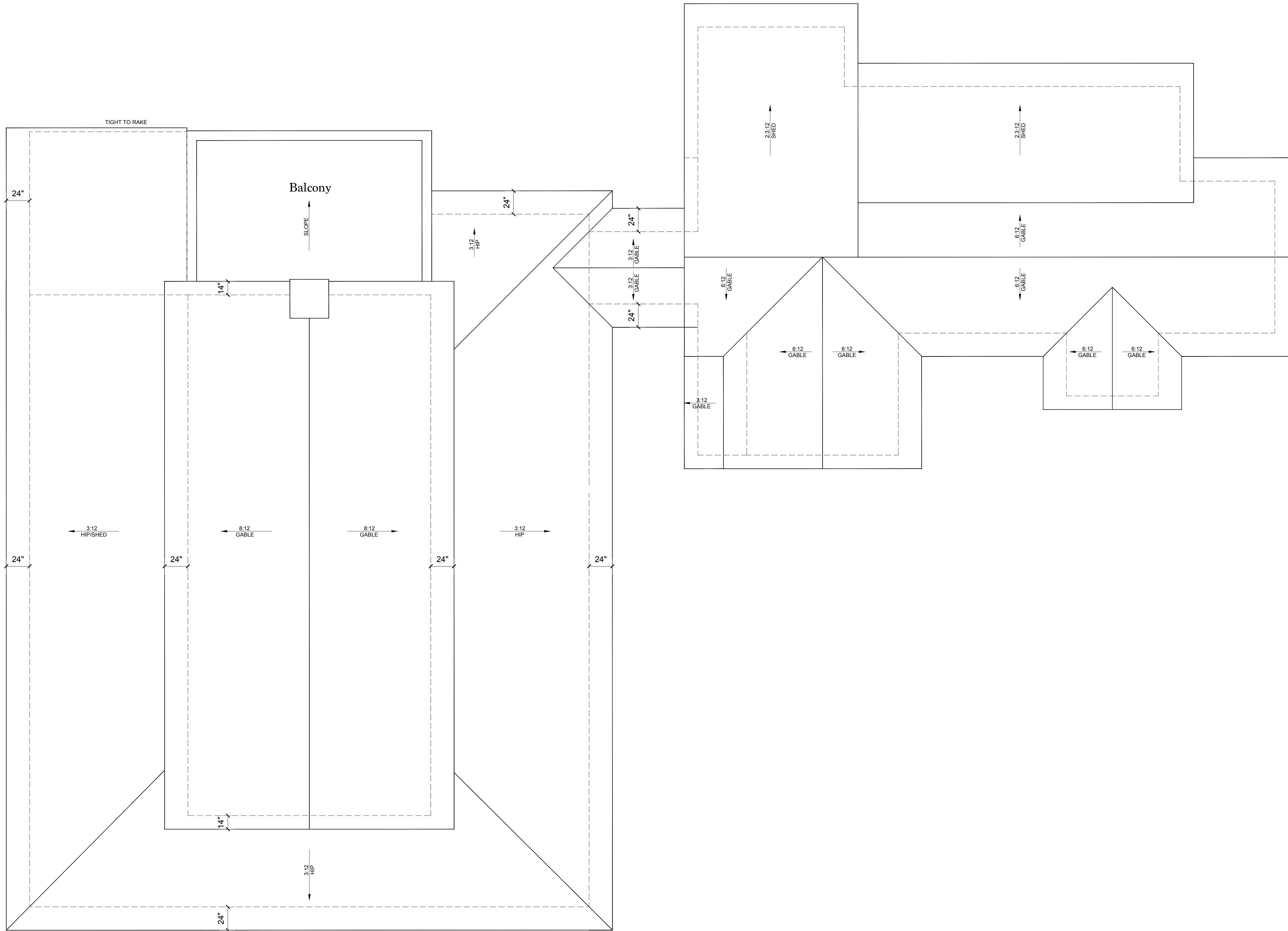
**A**  
**A2** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell [manuel.studio@aol.com](mailto:manuel.studio@aol.com)

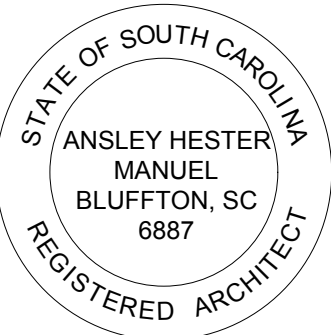
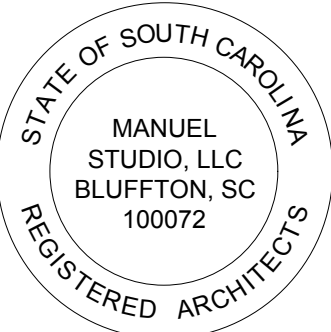
THE MALPHRUS/FISHKIND RESIDENCE  
ADDITIONS & RENOVATIONS TO  
114 PRITCHARD STREET  
BLUFFTON, S.C.

# PROPOSED ROOF PLAN

# A3



**A** PROPOSED ROOF PLAN  
**A3** SCALE: 1/4"=1'-0"



DATE :  
1/8/21

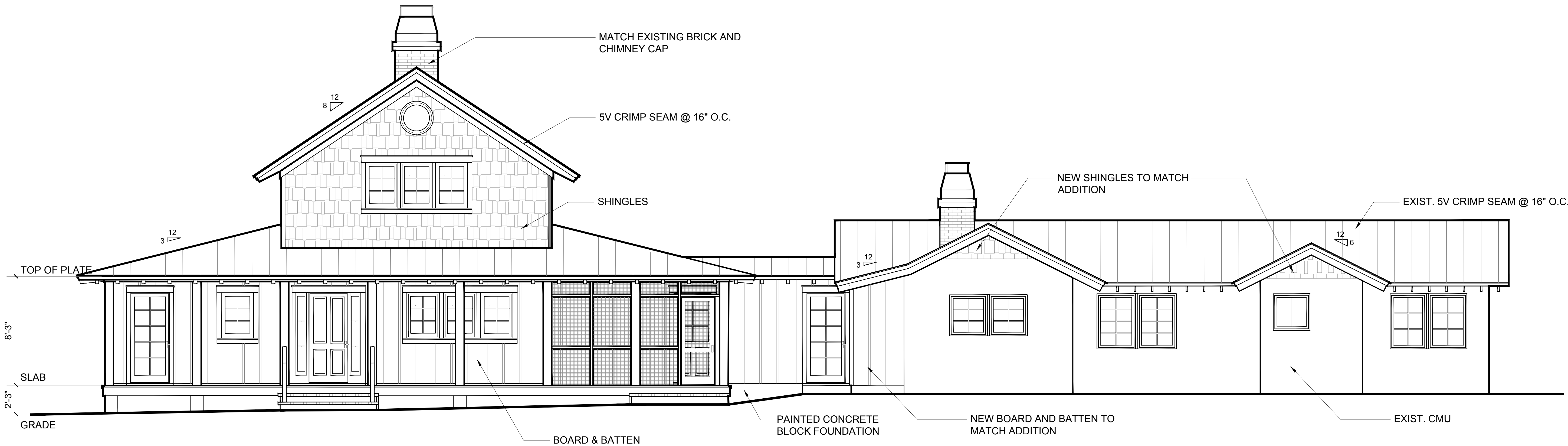
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS & RENOVATIONS TO  
**THE MALPHRUS/FISHKIND RESIDENCE**  
114 PRITCHARD STREET  
BLUFFTON, S.C.

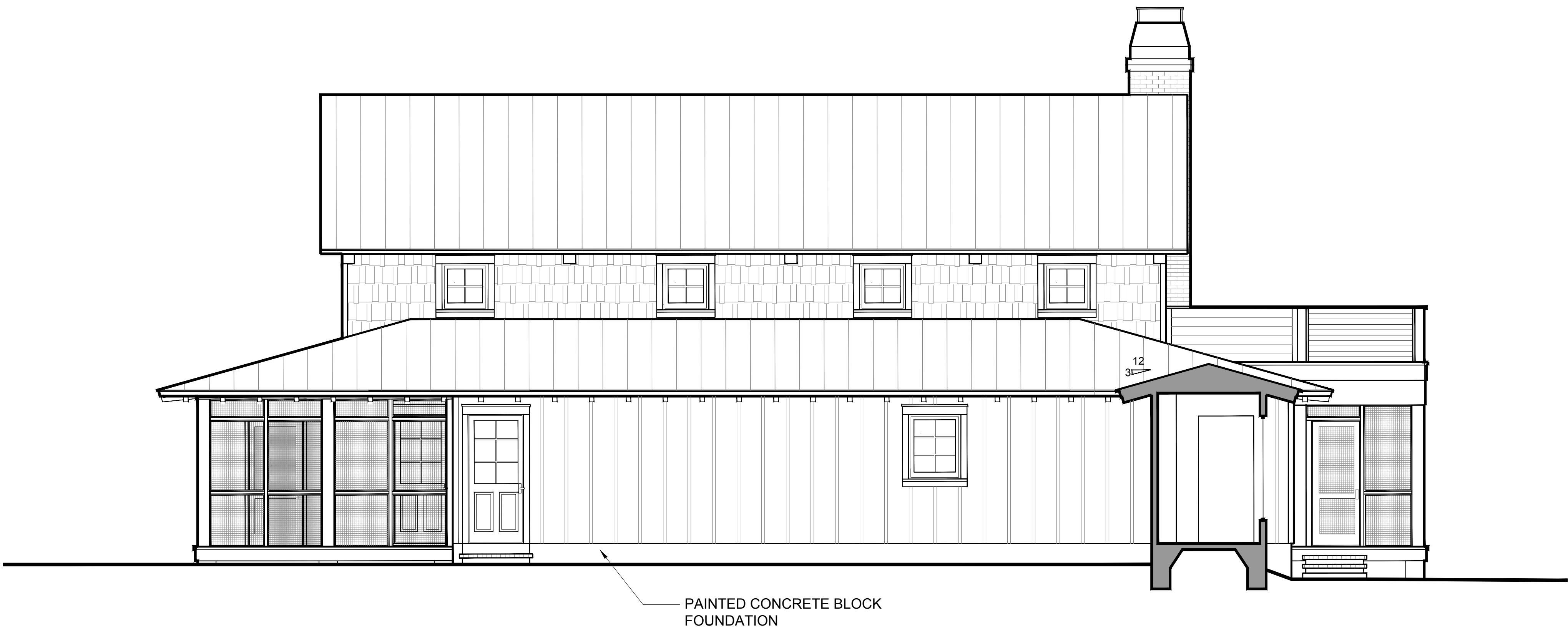
PROPOSED ELEVATIONS

SHEET

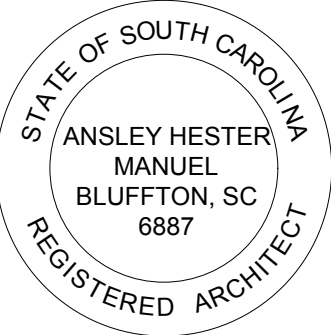
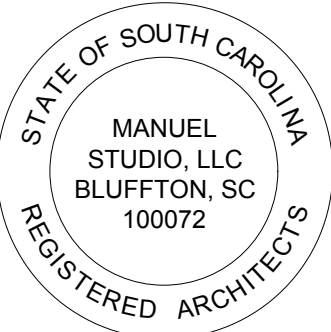
A4



**A**  
**A4** PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0" (FACES PRITCHARD STREET)



**B**  
**A4** PROPOSED NORTH ELEVATION CUT THROUGH CONNECTOR  
SCALE: 1/4"=1'-0"



DATE :  
1/8/21

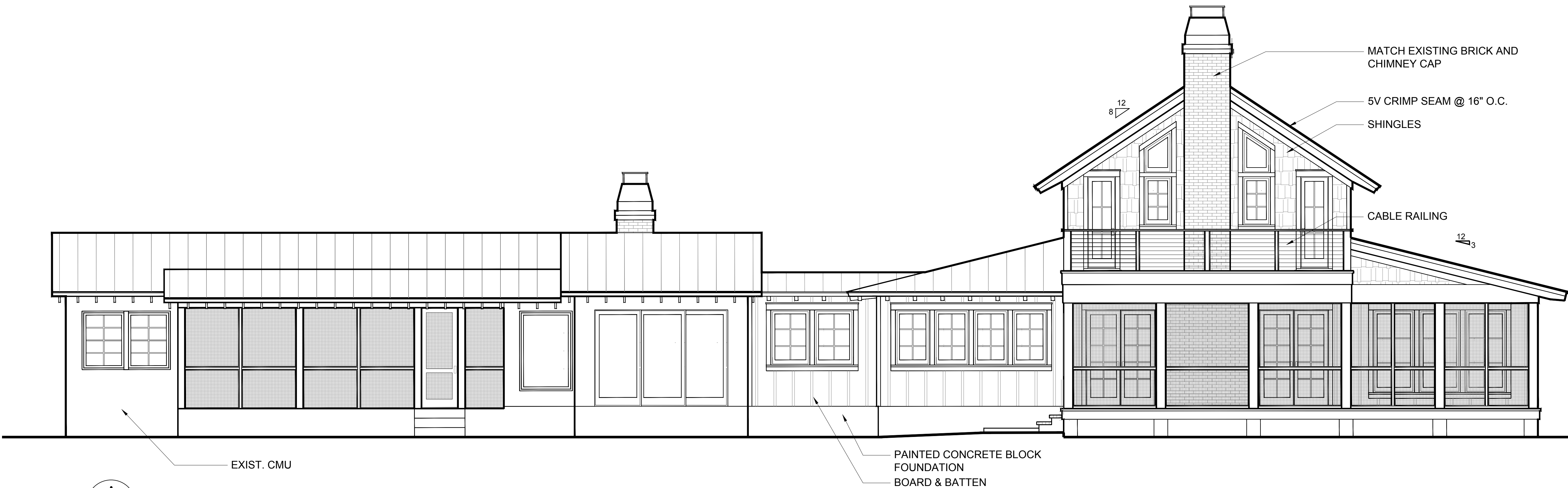
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS & RENOVATIONS TO  
**THE MALPHRUS/FISHKIND RESIDENCE**  
114 PRITCHARD STREET  
BLUFFTON, S.C.

ELEVATIONS

SHEET

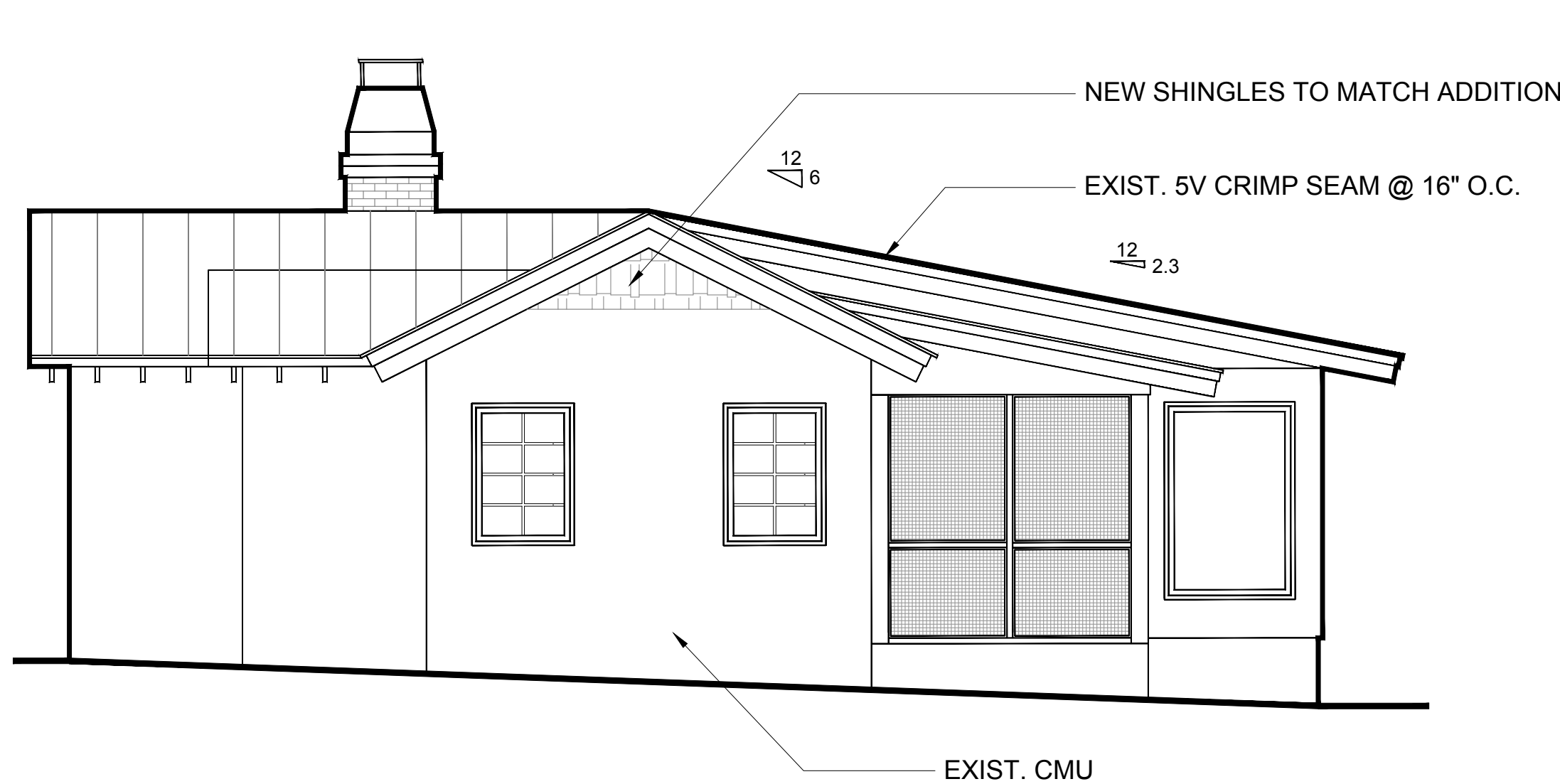
A5



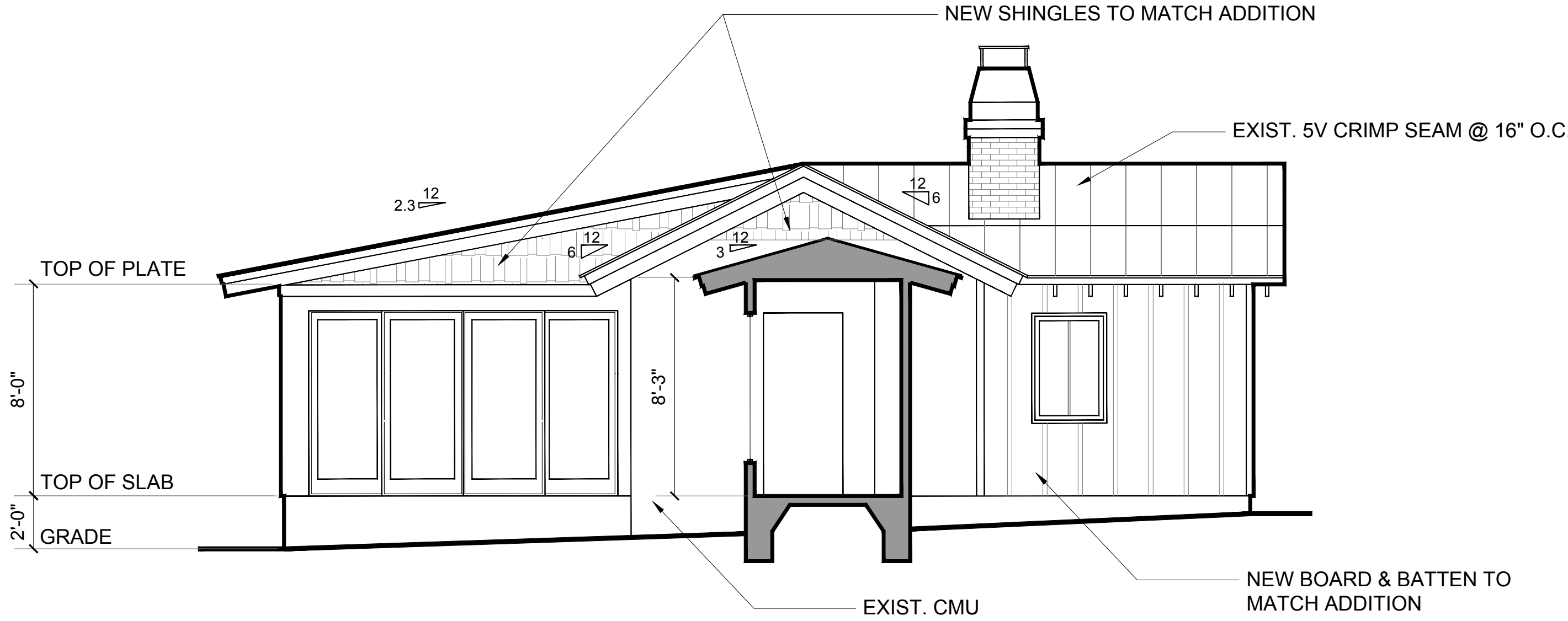
**A**  
**A5** PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0" (FACES HEYWARD COVE)



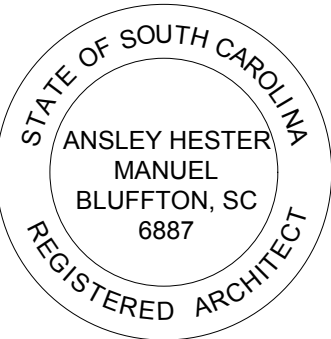
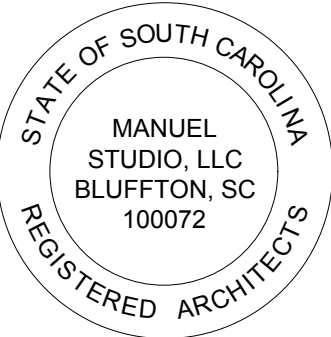
**B**  
**A5** PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0" (FACES WATER STREET)



**A** NORTH ELEVATION  
**A6** SCALE: 1/4"=1'-0" (FACES COVE STREET)



**B** SOUTH ELEVATION CUT THROUGH CONNECTOR  
**A6** SCALE: 1/4"=1'-0" (FACES WATER STREET)



DATE :  
1/8/21

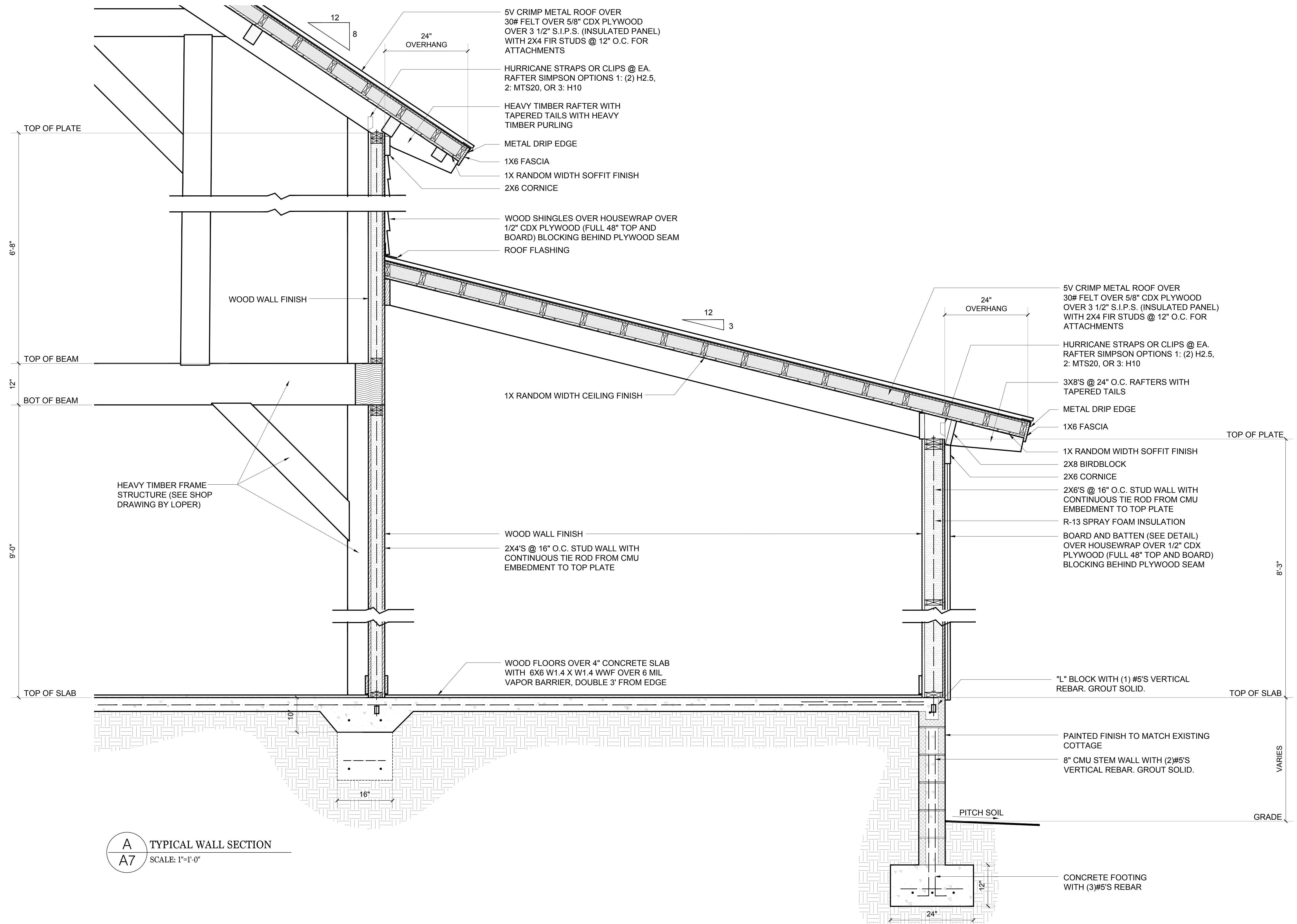
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS & RENOVATIONS TO  
**THE MALPHRUS/FISHKIND RESIDENCE**  
114 PRITCHARD STREET  
BLUFFTON, S.C.

ELEVATIONS

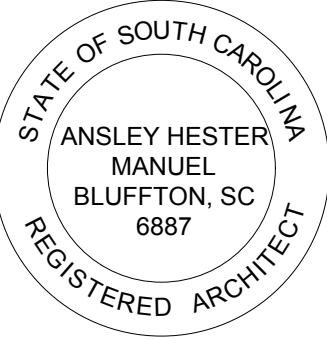
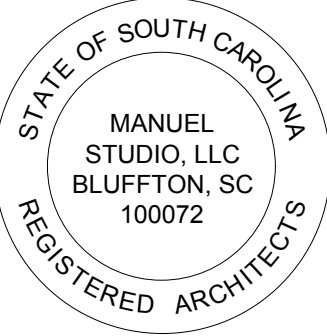
SHEET

A6



A TYPICAL WALL SECTION  
A7 SCALE: 1"=1'-0"





DATE :  
1/8/21

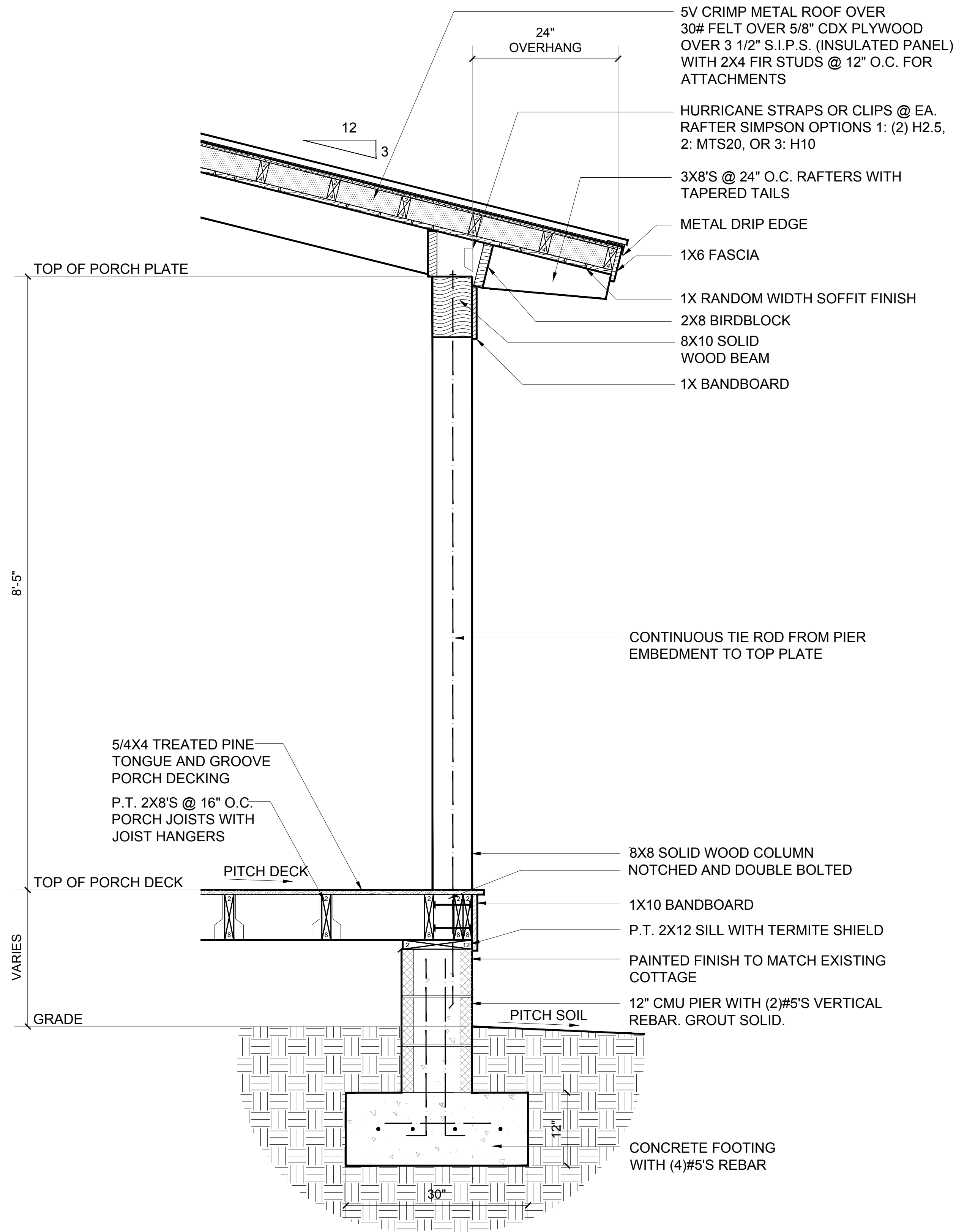
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS & RENOVATIONS TO  
**THE MALPHRUS/FISHKIND RESIDENCE**  
114 PRITCHARD STREET  
BLUFFTON, S.C.

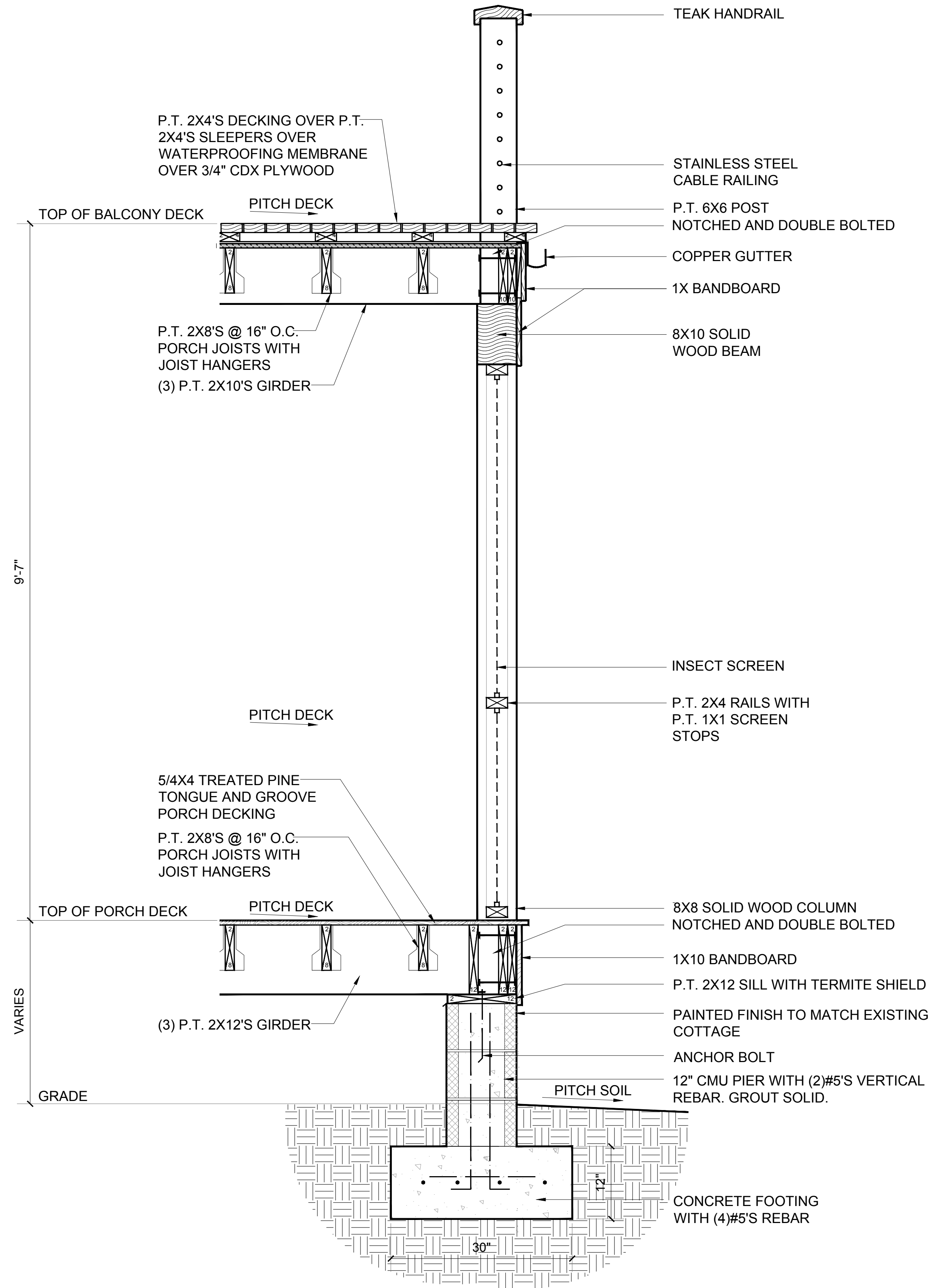
**WALL SECTIONS**

SHEET

**A8**



**A**  
**A8** FRONT PORCH SECTION  
SCALE: 1"=1'-0"



**B**  
**A8** COVE SCREEN PORCH WITH BALCONY SECTION  
SCALE: 1"=1'-0"

DOOR SCHEDULE

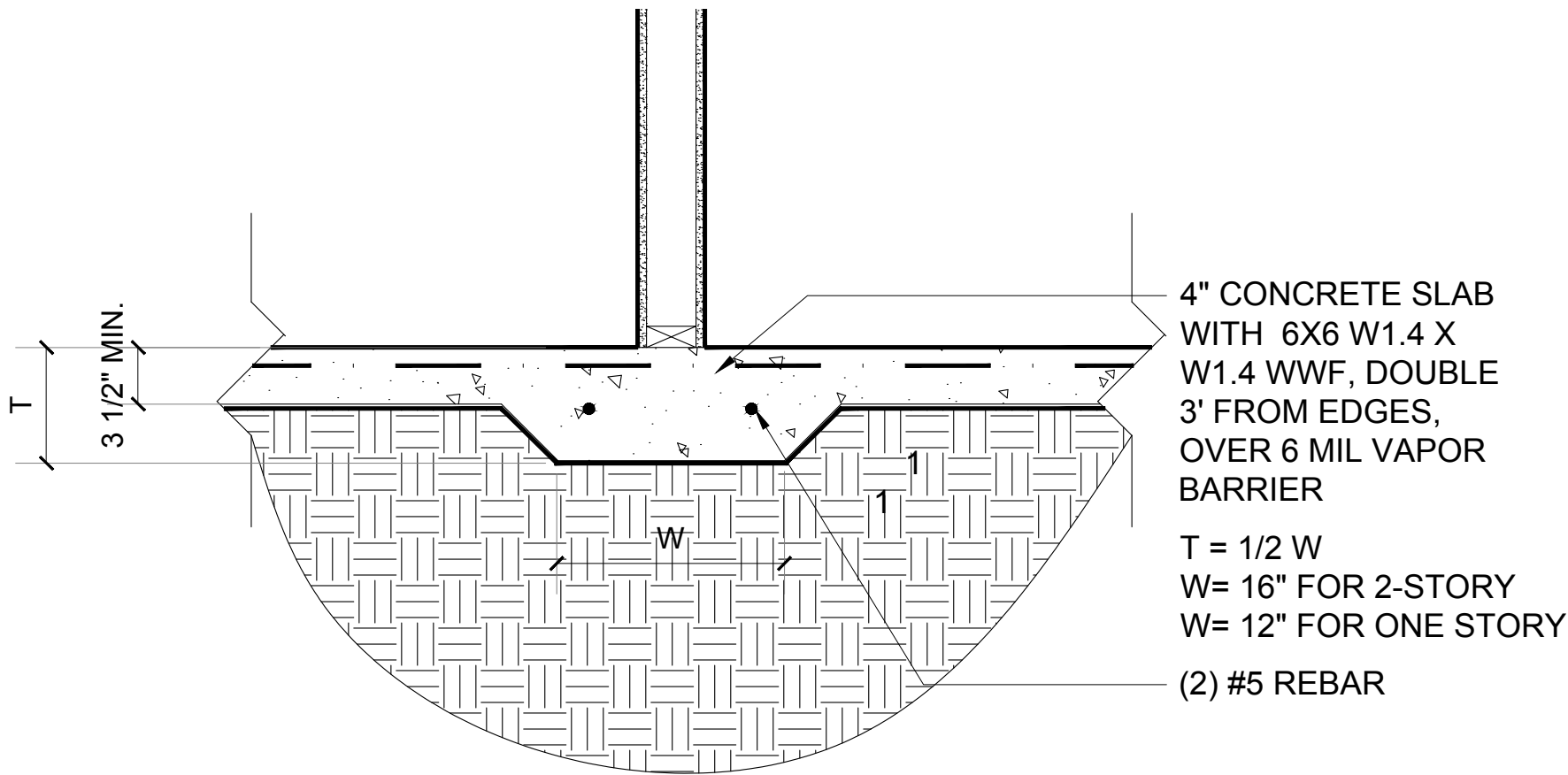
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	3'-0"x7'-0"	4 PANEL W/ 12" SIDELITES EA. SIDE	3@SIDELITE	OUTSWING
2	3'-0"x7'-0"	FULL GLASS	10	OUTSWING
3	3'-0"x7'-0"	SCREEN		INSWING
4	3'-0"x7'-0"	HALF GLASS	6	OUTSWING
5	2'-10"x7'-0"	HALF GLASS	6	OUTSWING
6	5'-0"x7'-0"	FRENCH DOUBLE	10	OUTSWING
7	2'-0"x6'-8"	FULL GLASS	6	OUTSWING

ALL EXTERIOR DOORS TO BE ALUMINUM CLAD (EXTERIOR), WOOD (INTERIOR) UNLESS OTHERWISE NOTED.  
ALL INTERIOR DOORS TO BE 5 PANEL COMPOSITE MATERIAL, MDF PREFERRED, UNLESS OTHERWISE NOTED.  
ALL GLASS TO BE IMPACT RESISTANT.  
7/8" MUNTIN WIDTH AND SIMULATED DIVIDED LIGHT.

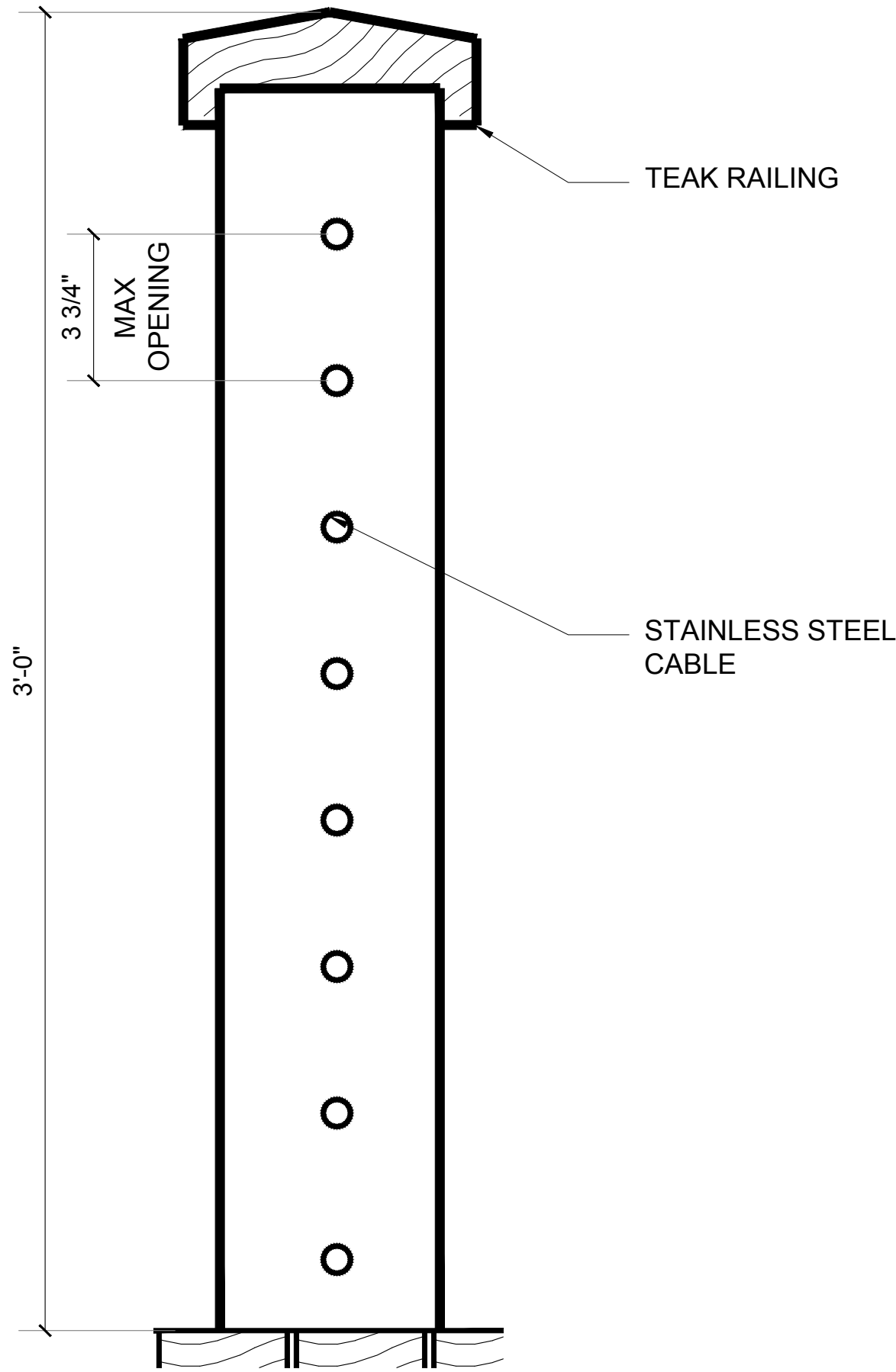
WINDOW SCHEDULE

MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	2'-6" X 3'-6"	FIXED	6	
B	2'-10" X 6'-0"	FIXED	6	
C	2'-6" X 4'-0"	FIXED	6	
D	2'-0" X 3'-6"	FIXED	6,1	2'-0"x 3'-0" ANGLED TRANSOM
E	2'-6" X 2'-6"	FIXED	4	
F	2'-0" DIA.	FIXED		ROUND WINDOW

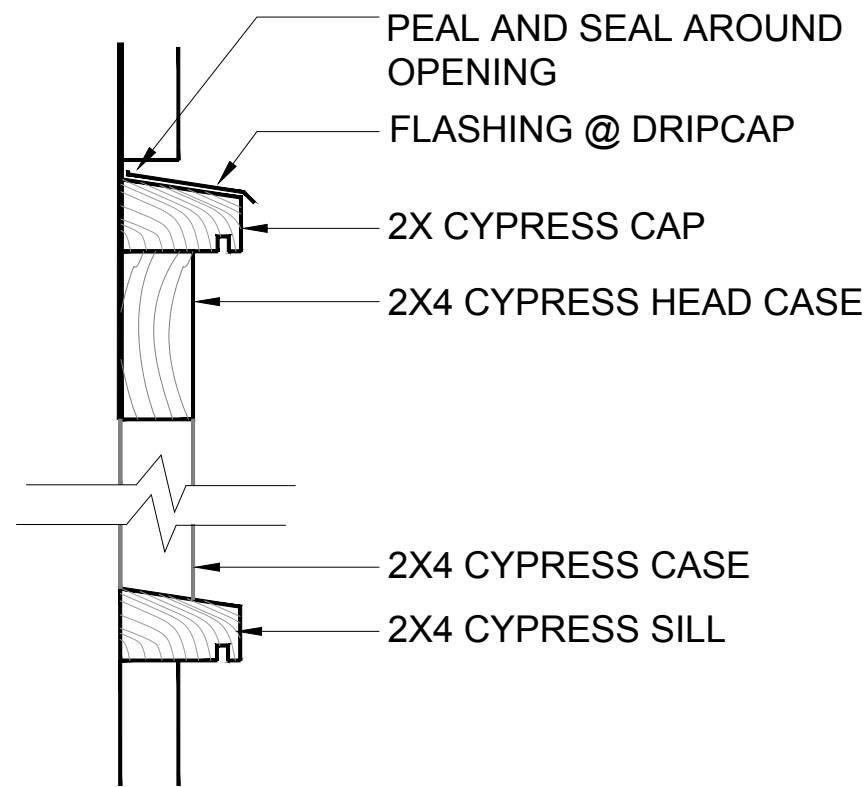
ALL WINDOWS ARE WOOD INTERIOR AND CLAD EXTERIOR.  
7/8" MUNTIN WIDTH AND SIMULATED DIVIDED LIGHT.  
ALL GLASS TO BE IMPACT RESISTANT.  
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER



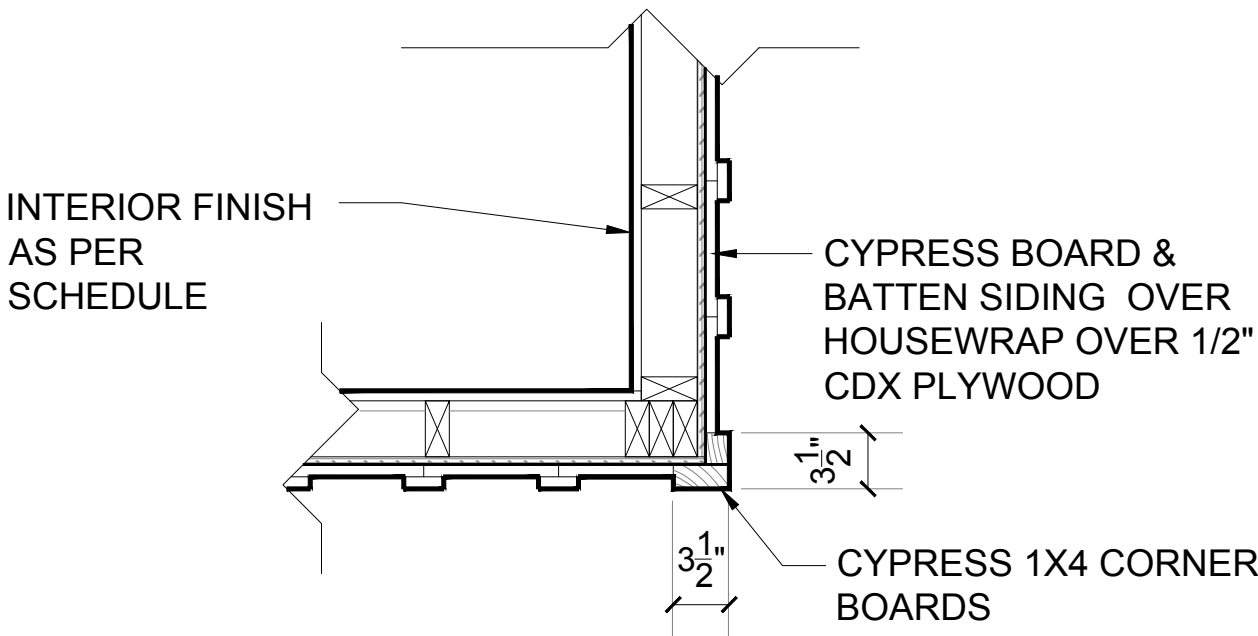
A  
A9 THICKENED SLAB  
SCALE: 1"=1'-0"



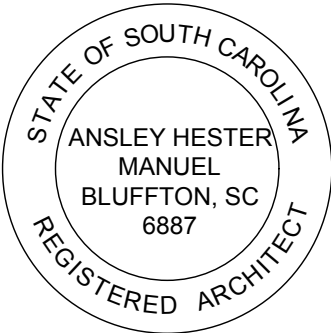
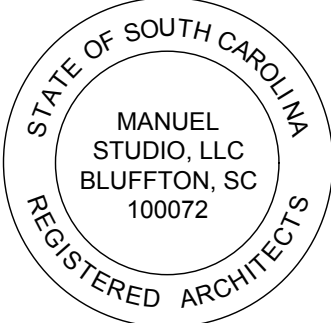
B  
A9 HANDRAIL DETAIL (TYPICAL)  
SCALE: 3"=1'-0"



C  
A9 WINDOW TRIM DETAIL @ SHIPLAP  
SCALE: 3"=1'-0"



D  
A9 CORNER DETAIL  
SCALE: 1"=1'-0"



DATE :  
1/8/21

MANUEL STUDIO, LLC  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS & RENOVATIONS TO  
THE MALPHRUS/FISHKIND RESIDENCE  
114 PRITCHARD STREET  
BLUFFTON, S.C.

SCHEDULES & DETAILS

SHEET

A9





# ATTACHMENT 5 PLAN REVIEW COMMENTS FOR COFA-12-20-014811

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 12/04/2020  
**Plan Status:** Active **Plan Address:** 114 Pritchard St Street  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:**  
**Plan Description:** A request by Ansley Manuel, on behalf of the owner, Patricia Ellen Malphrus, for review of a Certificate of Appropriateness to allow an addition of approximately 4,065 SF to the existing single-family structure of approximately 1,095 SF and to enclose the existing Carriage House of approximately 1,075 SF located at 114 Pritchard Street in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD.  
**STATUS:** The Application will be heard at the January 4, 2020 HPRC meeting.

## Staff Review (HD)

**Submission #: 1** Recieved: 01/02/2021 Completed: 01/02/2021

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	01/02/2021	Katie Peterson	Approved with Conditions

### Comments:

1. Windows are permitted to be square, rectangle, transom or sidelite. The plans propose a circular window on the east elevation and two right trapezoids on the west elevation. Windows must be revised to meet this requirement. (UDO 5.15.6.I.3.a.)
2. The UDO requires that porch posts shall be spaced no farther apart than they are tall. Columns are proposed as further apart on center than they are tall on the west elevation. The column placement must be revised to meet this requirement. (UDO 5.15.6.H.1.a. and Traditional Construction Patterns Section 52)
3. The first floor finish height must be 3 feet above the average adjacent sidewalk grade. While there is no sidewalk, the measurement shall be taken from the where the sidewalk would exist along Pritchard Street. Provide elevation of adjacent sidewalk grade to confirm that the finished floor is 36" above grade. (UDO Section 5.15.5.F.1.c.)
4. Porches are required to have a minimum height of 30 inches minimum from the adjacent grade to the top of stairs. The proposed height to top of stairs is 2' 3". The height of the porch must be increased to meet this requirement. (UDO Section 5.15.6.E.5.c.)
5. Provide additional information to clarify the finish of the stucco proposed on the foundation and chimney (tabby, sand-finished, and steel trowel are permitted). (UDO 5.15.6.G.1.a.)
6. Additional information must be provided on the walls behind the screened area on the west elevation as there is not enough information to complete review. (Applications Manual)
7. Building heights and widths shall be visually similar to those in the neighboring vicinity. As the addition to this structure is more than double the size of the existing structure, additional information showing the scale of the proposed in relation to the neighboring properties must be provided. (UDO 5.15.5.F.1.a.)
8. At time of final submittal, a landscape plan showing foundation buffers, canopy coverage, and street trees must be provided for review. (Applications Manual)
9. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).
10. The site plan shows a carport proposed to be inclosed. No information on the carport was provided. Additional information must be provided for review.
11. Railings are permitted to be wood (termite resistant), painted or natural wrought or cast iron. The plans note the use of cable railings on the second story balcony on the west elevation. Railings must be revised to meet this standard. (UDO 5.15.6.H.2.d.)
12. In no case shall parking be located in front of a building. The plan proposed a new gravel drive, all of which is located in front of the primary structure. The driveway must be reconfigured to allow parking to be located on the side or the rear of the structure. (UDO 5.15.7.D.1.)
13. Provide additional information on the existing chimney to ensure the proposed has a visual relationship to the existing. Additionally, provide additional information on the proposed chimney cap. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, or pre-fabricated chimney caps are not permitted. (5.15.6.E.8.d.)
14. At time of final submittal provide architectural details of the railing and baluster, a typical window detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)

HPRC Review	01/02/2021	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

**Comments:****ATTACHMENT 5**

1. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. Based on the plans submitted, the existing structure does not have many elements which tie it to the proposed addition -possible chimney detailing and a metal roof. Provide detailing showing the relationship between the addition and the existing structure. Additionally, additions, connective wings, and outbuildings shall be secondary to the primary form. Provide additional information showing how the exiting structure will be prominent. (UDO 5.15.5.F.4. and UDO 5.15.5.F.4.a.)

2. At time of final submittal provide architectural details of the railing and baluster, a typical window detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)

Watershed Management Review

01/02/2021

William Baugher

Approved with Conditions

**Comments:**

1. Small Construction Activities. The Town will require a Stormwater Affidavit with a SC DHEC NOI form D-0451 and implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual and the SC DHEC Erosion and Sediment Reduction standards and other Stormwater Management regulations, where applicable before Building Permits will be issued.

Addressing Review

01/02/2021

Nick Walton

Approved

**Comments:**

1. Address remains 114 Pritchard Street.

Beaufort Jasper Water and Sewer  
Review

01/02/2021

James Clardy

Approved

**Comments:**

1. BJWSA provides no comments.

Transportation Department Review  
- HD

01/02/2021

William Howard

Approved

**Comments:**

1. No comments provided.

**Plan Review Case Notes:**



















# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	February 3, 2021
<b>PROJECT:</b>	6 Marianna Way
<b>APPLICANT:</b>	Court Atkins Architects, Inc.
<b>PROJECT MANAGER:</b>	Katie Peterson, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Court Atkins Architects, Inc., on behalf of Herkus, LLC, requests that the Historic Preservation Commission approve the following application:

1. **COFA-01-21-014892.** A Certificate of Appropriateness to allow the construction of a new 2 1/2-story Mixed-Use building of approximately 5,272 heated square feet located at 6 Marianna Way, Building 4 in the Old Village Square development, in the Old Town Bluffton Historic District and zoned Neighborhood General – HD.

**INTRODUCTION:** The Applicant is proposing the construction of a mixed-use structure located in the Old Town Bluffton Historic District. The proposed building, of approximately 5,272 SF, does not meet any of the building types for the Neighborhood General-HD zoning district, and therefore shall be reviewed as an Additional Building Type in accordance with Section 5.15.5.C. of the Unified Development Ordinance (UDO). This lot is located within the Old Village Square development plan, which was last amended in April of 2019 (DPA-06-17-011010).

The main mass of the addition is under a two and a half-story side-facing gable with hip roofed cupola at the center. There are four dormers (two front and two rear facing) under shed roofs as well as a front portico under a gable roof and a rear portico under the same. A two-story front porch split by the portico and stair well runs the length of the front elevation under a shed roof. The two sides have balconies supported by brackets, accessed by the loft level units. The proposed materials include combination of horizontal lap siding on most of the structure with vertical board and batten in the rear portico gabled end. The roofs are a combination of shingle and standing seam metal and operable shutters have been proposed on all windows which can accept them.

This project was presented to the Historic Preservation Review Committee for conceptual review at the January 20, 2021 meeting and comments were provided to the Applicant (See Attachment 6).



**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
  - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new Mixed-Use building within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed structure will add to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
    - a. *Finding.* Town Staff finds that the design of the structure falls within the category of Additional Building Type within the Neighborhood General Historic District per Section 5.15.5.C. As the Commission with approval authority in accordance with article 2 of the UDO, the HPC has final approval authority on the appropriateness of an Additional Building Type within this zoning district. Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.
    - b. *Finding.* The building location is in the Old Village Square Development Planned area. As such, the setbacks for the structure are determined by the approved Development Plan rather than by Article 5 of the UDO. The setbacks, as proposed, are in compliance with the approved Development Plan.
    - c. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
      - 1) Section 5.15.6.J. Roofs and Gutters. Shingle materials can be Metal or Asphalt "dimensional" type, Slate, Composite Slate. The project narrative notes the shingle material as fiberglass shingles. Shingles must be revised to be a permitted material.
      - 2) Section 5.15.6.M. Shutters. Shutter dogs used may be standard "S" hook, rat-tail hooks, generally less decorative iron butterfly, or other style shutter dog typical of the Old Town Bluffton Historic District's period of significance. No shutter dog profile was provided. Additional information on the shutter dog profile must be provided for review.
      - 3) Section 5.15.6.N. Corners and Water Tables Corners. Corner boards shall project beyond siding material. They shall be mitered, rabbeted, or butt jointed (butt face to be on side of wall), shall be beaded or have ¼ round inset trim mold. A corner board detail was not provided. A corner board detail must be provided for review.
      - 4) Section 5.3.7.E. Foundation Plantings. Except when a build-to line or minimum setback makes the provision of foundation plantings impractical, a foundation planting area at least 8 feet wide shall be maintained around all structures. The foundation planting shall

incorporate a mixture of trees, shrubs, and ground covers in order to soften the building façade. Foundation plantings shall not be required along any building elevation or portion thereof that contains only service and/or delivery area that are not visible from any roadway. The Landscape Plan associated with the approved development plan was based on the structures having 8' colonnades wrapping the whole building. As the form of the structure has changed, the areas which were previously porches must show additional landscaping.

- 5) Section 5.15.5.F.4. Building Composition (Proportion, Alignment, Rhythm and Spacing). Overall building proportions and individual building features shall have a proportional relationship with one another, as well as the overall building form. The central portico appears under-scaled relative to the overall width of both buildings. Additionally, the glazing on the rear elevations appears to have under-scaled glazing resulting in large areas of blank walls. The proportions should be reconsidered to draw attention to the central entrance and increase glazing on the rear elevation.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

*Finding.* Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing, with revisions to address the items in section 2 above, will be sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The application has been reviewed by Town Staff and has been determined to be complete, however, additional information is required as noted in the conditions found below.

Additionally, it should be noted that while the Landscape Plan has been updated for the area surrounding Building 3 and 4, the Landscape Plan associated with the Development Plan must still be implemented for the areas outside the scope of work for this application.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application including the architectural plan set dated 2021.01.22 with the following conditions:

1. Per Section 5.15.6.J., the fiberglass shingles must be replaced with a permitted roof material.
2. Per Section 5.3.7.E. the landscape plan must be revised to show plantings in the areas which had porches shown on the Development Plan and now are not within the porch/building footprint.
3. Per Section 5.15.6.M., the shutter dog profile must be provided for review.
4. Per Section 5.15.6.N., a corner board detail must be provided for review.
5. Per Section 5.15.F.4. the proportion of the central portico relative to the overall width of the building should be restudied.
6. Per Section 5.15.F.4., the glazing on the rear elevation should be restudied to reduce large areas of blank walls on the rear elevation.

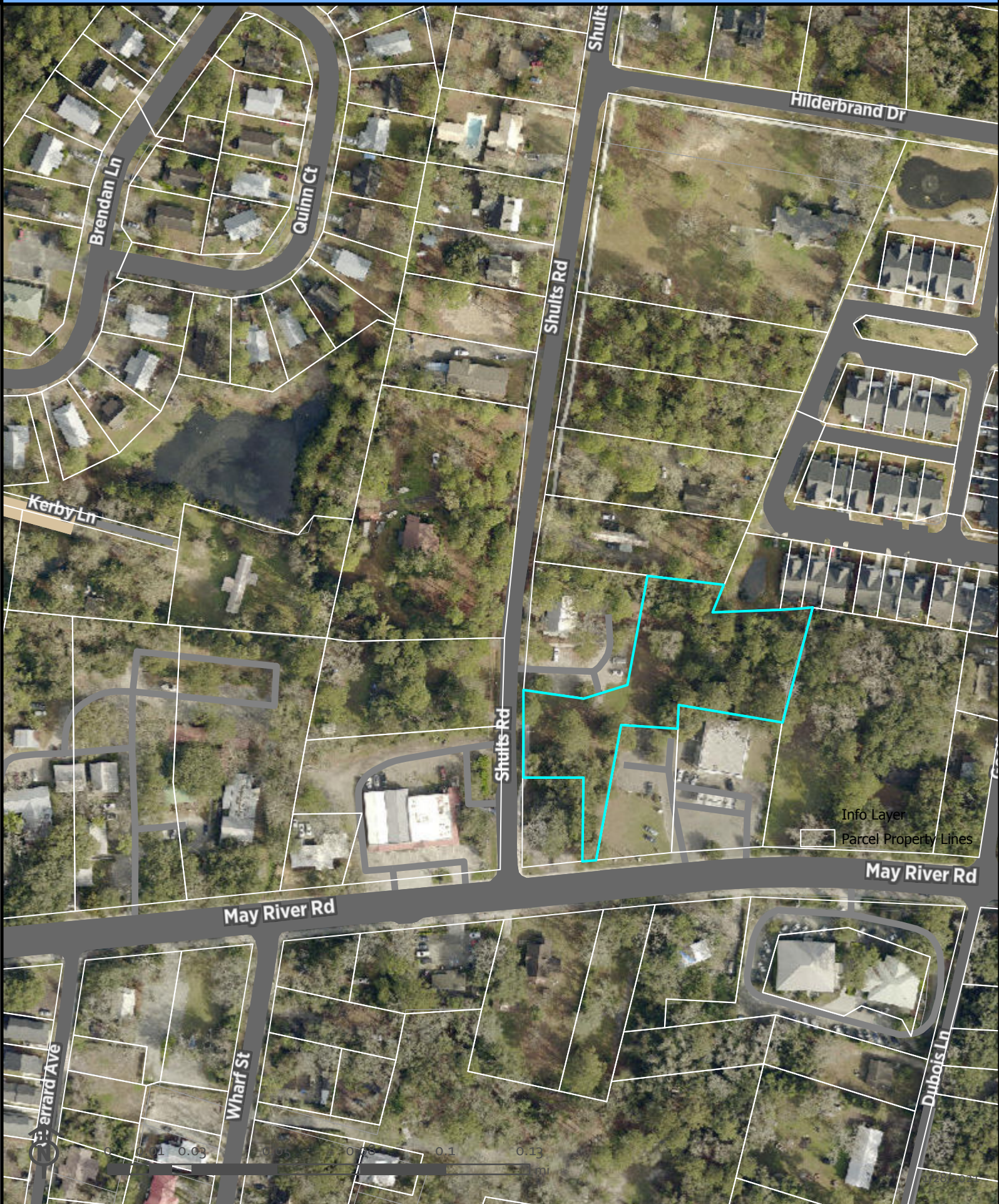
**ATTACHMENTS:**

1. Location Map
2. Zoning Map
3. Application & Applicant Narrative
4. Site Plan & Elevations
5. Landscape Plan
6. HPRC Report

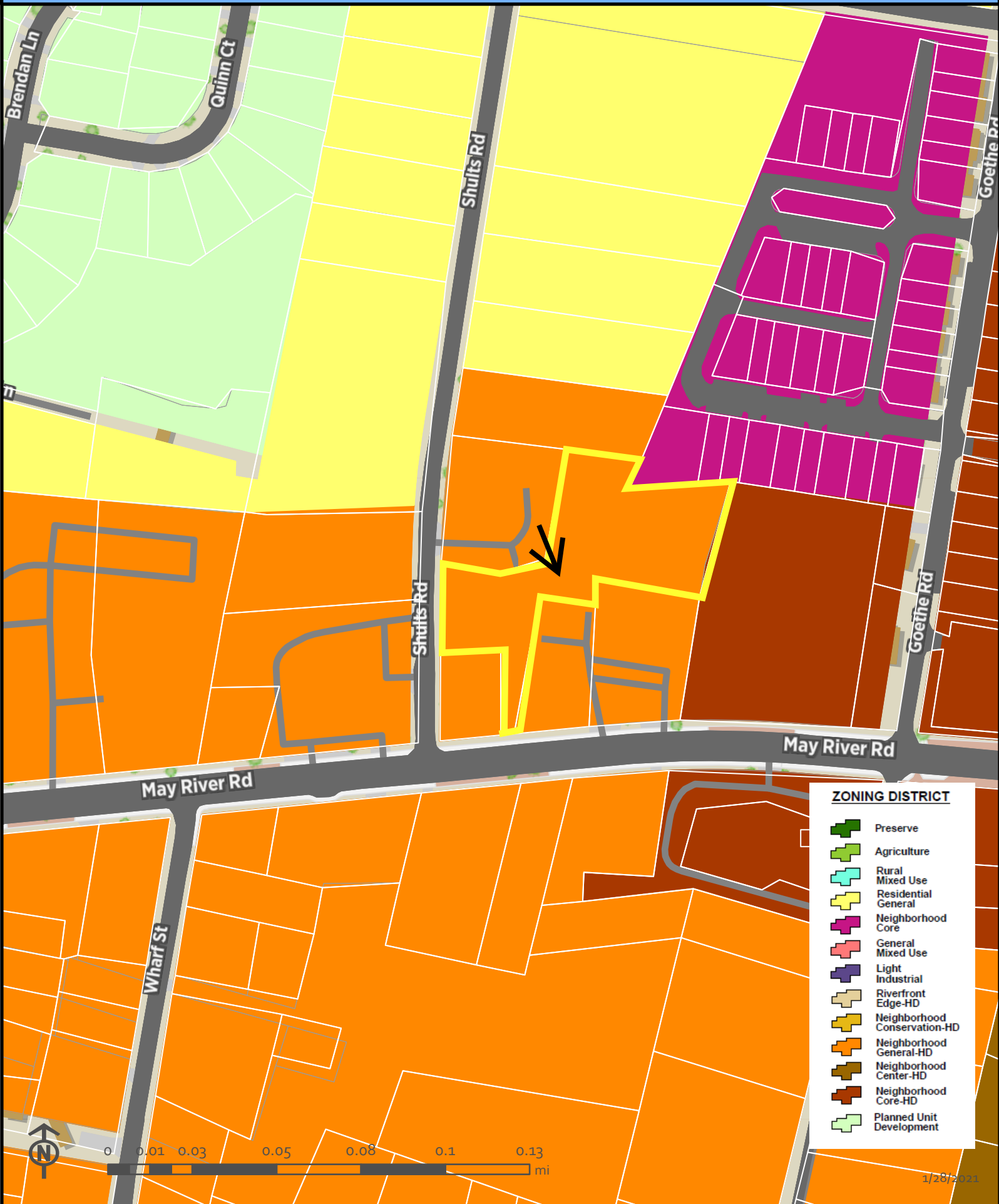




# Location Map - 6 Marianna Way







**ZONING DISTRICT**

- Preserve
- Agriculture
- Rural Mixed Use
- Residential General
- Neighborhood Core
- General Mixed Use
- Light Industrial
- Riverfront Edge-HD
- Neighborhood Conservation-HD
- Neighborhood General-HD
- Neighborhood Center-HD
- Neighborhood Core-HD
- Planned Unit Development





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer Service Center  
20 Bridge Street  
Bluffton, SC 29910  
(843)706-4522  
www.townofbluffton.sc.gov  
[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name:		Name:	
Phone:		Phone:	
Mailing Address:		Mailing Address:	
E-mail:		E-mail:	
Town Business License # (if applicable):			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/gis/">http://www.townofbluffton.us/gis/</a> )			
Project Name:	Conceptual: <input type="checkbox"/>	Final: <input type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Location:	Application for: <input type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation or Demolition		
Zoning District:			
Acreage:			
Tax Map Number(s):			
Project Description:			
<b>Minimum Requirements for Submittal</b>			
<input type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note: A Pre-Application Meeting is required prior to Application submittal.</b>			
<b>Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</b>			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date:	
Applicant Signature:		Date: 1 / 20 / 21	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
<b>Step 3. Review by UDO Administrator and HPC</b>	<b>Staff</b>
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>			<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input type="checkbox"/>	
<b>2. SITE DATA</b>						
Identification of Proposed Building Type (as defined in Article 5):						
Building Setbacks		Front:	Rear:	Rt. Side:	Lt. Side:	
<b>3. BUILDING DATA</b>						
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)		<b>Existing Square Footage</b>		<b>Proposed Square Footage</b>	
Main Structure						
Ancillary						
Ancillary						
<b>4. SITE COVERAGE</b>						
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>			
Building Footprint(s)						
Impervious Drive, Walks & Paths						
Open/Covered Patios						
<b>A.TOTAL IMPERVIOUS COVERAGE</b>						
<b>B.TOTAL SF OF LOT</b>						
<b>% COVERAGE OF LOT (A/B= %)</b>						
<b>5. BUILDING MATERIALS</b>						
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation			Columns			
Walls			Windows			
Roof			Doors			
Chimney			Shutters			
Trim			Skirting/Underpinning			
Water table			Cornice, Soffit, Frieze			
Corner board			Gutters			
Railings			Garage Doors			
Balusters			Green/Recycled Materials			
Handrails						



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>





# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>PRELIMINARY DEVELOPMENT PLAN APPLICATION:</b> Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

### SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

#### ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

\_\_\_\_\_  
Signature of Property Owner or Authorized Agent

1 / 20 / 21  
\_\_\_\_\_  
Date

James C. Atkins  
\_\_\_\_\_  
Printed Name



Bluffton Studio  
32 Bruin Road  
Bluffton  
SC 29910

Savannah Studio  
2408 De Soto Ave  
Savannah  
GA 31401

Interior Design  
Studio  
32 Bruin Road  
Bluffton  
SC 29910

P: (843) 815-2557

January 20, 2021

Katie Peterson, Senior Planner  
Town of Bluffton  
Growth Management  
Bluffton, SC 29910

Project: Building 4 at Old Village Square

Re: HPC submittal

Katie,

Please find the documents enclosed for the HPC to consider an alternate building design for Building #4 at the Old Village Square development. Due to design and construction constraints outside the control of the Owner, we were engaged to re-design the exterior envelope, while maintaining or reducing the previously approved square footage, width, length, and height. As discussed, the building will be maintained as an "Additional Building" type and reviewed as such. Please note, the approved development plan is a horizontal regime and thus, the site approvals and characteristics/parameters are unique (i.e. setbacks) to this project.

Based upon the HPRC review and staff comments; the design drawings have been modified. Please see the specific comment responses below:

#### Growth Management

- 1) The first floor of each building has been redesigned to accommodate a rentable commercial office space in order to qualify as a mixed-use building type.
- 2) Notices will be sent once the Town provides the list of adjacent property owners.
- 3) An updated application has been provided.
- 4) The building is submitted as an "additional building type" and to be reviewed as such.
- 5) The center gable on the porch was maintained as previously submitted based upon the HPRC discussion. The rear gable has been maintained as well due to head height requirements in the stair. The rear elevation has ample glazing and fenestration.
- 6) This building is a mixed-use (residential and commercial) structure noted as an "additional building type."
- 7) The side porches have been removed. A balcony was added on the third floor.
- 8) The side porches have been removed.
- 9) The side porches have been removed. Services yard have been added on the sides.
- 10) The fiberglass doors have been changed to metal-clad.
- 11) The clipped gable has been removed.
- 12) The roof material has been changed to all fiberglass shingle except at the dormers and porch porch
- 13) While the originally approved development has 4 nearly identical buildings, modifications will be made to 10 Marianna Way to create visual distinction.
- 14) Details had been provided.

#### Building Safety Review

- 1) Acknowledged.

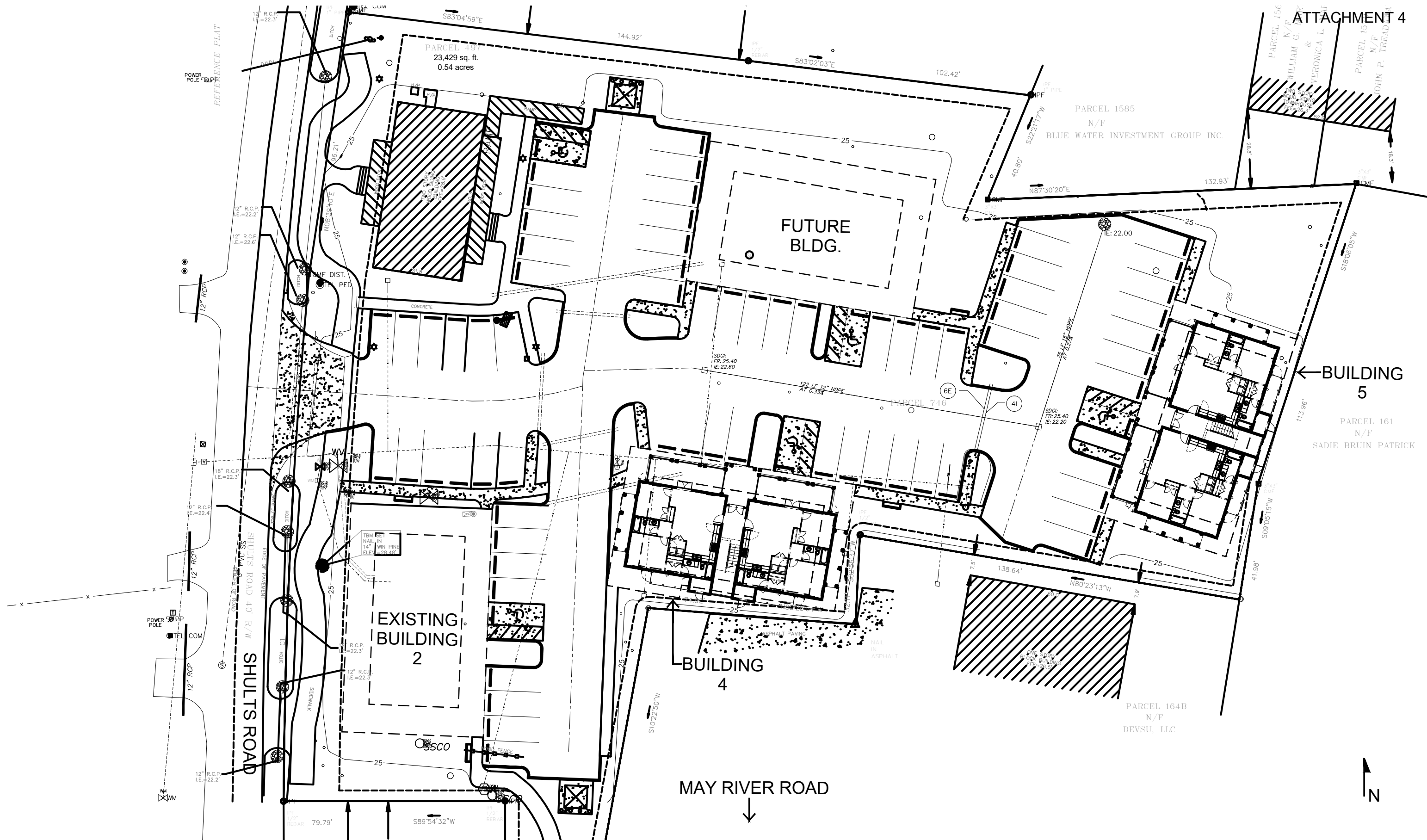
#### HPRC Review

- 1) Service yards are located on the side and rear of the building .
- 2) See calculations showing 70% or less for the ½ story area calculation. Calculations have been updated.

Kind Regards,

A handwritten signature in black ink, appearing to read 'J. Atkins', with a stylized, flowing script.

James Atkins, Architect





## FINAL HPC SUBMITTAL

## OLD VILLAGE SQUARE - BUILDING 4

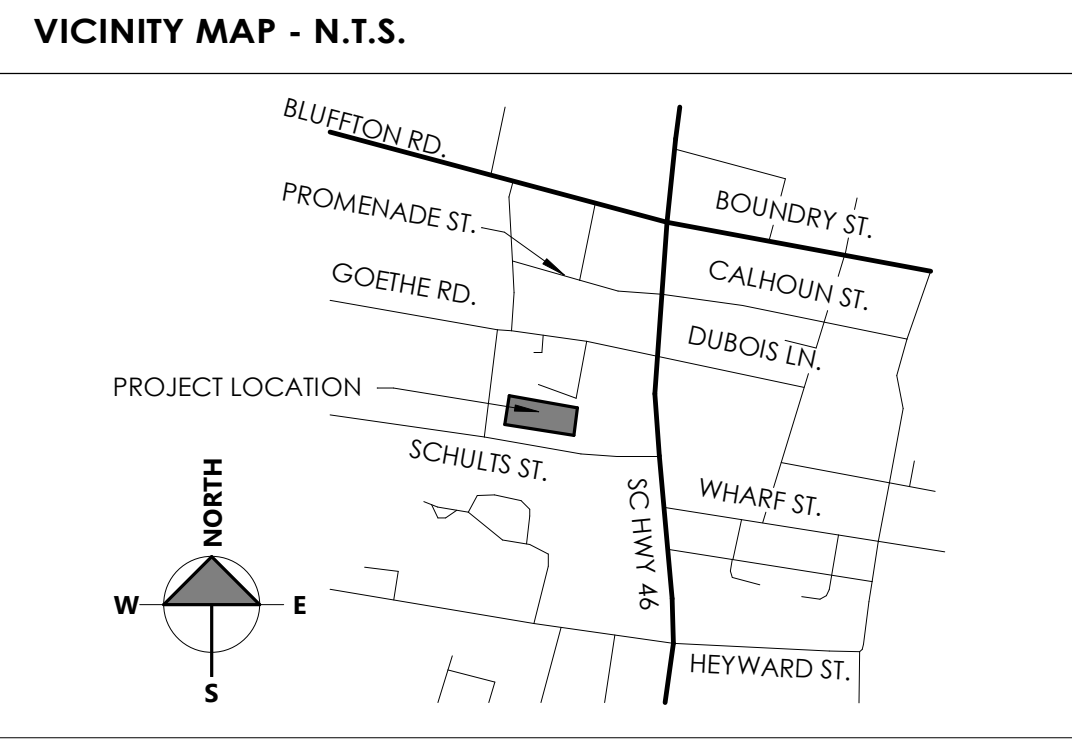
6 MARIANNA WAY  
BLUFFTON, SC 29910

SHEET INDEX			
ARCHITECTURAL	SHEET NAME	ISSUE DATE	DRAWING SET
A0.0	COVER SHEET	01/22/2021	HPC
A1.0	SITE PLAN	01/22/2021	HPC
A2.1	FIRST FLOOR PLAN	01/22/2021	HPC
A2.2	SECOND FLOOR PLAN	01/22/2021	HPC
A2.3	LOFT LEVEL PLAN	01/22/2021	HPC
A2.4	ROOF PLAN	01/22/2021	HPC
A3.0	FRONT EXTERIOR ELEVATION	01/22/2021	HPC
A3.1	RIGHT SIDE EXTERIOR ELEVATION	01/22/2021	HPC
A3.2	REAR EXTERIOR ELEVATION	01/22/2021	HPC
A3.3	LEFT SIDE EXTERIOR ELEVATION	01/22/2021	HPC
A5.0	DETAILS	01/22/2021	HPC
A5.1	DETAILS	01/22/2021	HPC
A6.0	DOOR AND WINDOW SCHEDULE	01/22/2021	HPC

PROJECT INFORMATION	
NAME OF PROJECT:	OLD VILLAGE SQUARE - BUILDINGS
ADDRESS:	6 MARIANNA WAY BLUFFTON, SC 29910
PROPOSED USE:	RESIDENTIAL (R-2) & BUSINESS (B)
OWNER CONTACT:	MR. HOUSSAM ABOUKHATER
CODE ENFORCEMENT JURISDICTION:	TOWN OF BLUFFTON
INTERNATIONAL BUILDING CODE (IBC):	2018
INTERNATIONAL MECHANICAL CODE:	2018
INTERNATIONAL PLUMBING CODE:	2017
THE NATIONAL ELECTRICAL CODE:	2017
INTERNATIONAL FUEL GAS CODE:	2018
INTERNATIONAL FIRE CODE:	2018
INTERNATIONAL ENERGY CONSERV. CODE:	2009
ICC/ANSI A117.1:	2017
INTERNATIONAL RESIDENTIAL CODE	2018

PROJECT TEAM	
OWNER CONTACT	ARCHITECT
MR. HOUSSAM ABOUKHATER 10 ANSON PARK ROAD E BLUFFTON, SC, 29910 (603) 205-5555 PH	COURT ATKINS ARCHITECTS, INC. 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX
STRUCTURAL ENGINEER	GENERAL CONTRACTOR
TBD	TBD
MECHANICAL PLUMBING & FIRE PROTECTION	LANDSCAPE ARCHITECT
TBD	TBD
ELECTRICAL ENGINEER	CIVIL ENGINEER
TBD	TBD

DESIGNER OF RECORD			
DISCIPLINE	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
STRUCTURAL	TBD	--	(XXX) XXX-XXXX
ELECTRICAL	TBD	--	(XXX) XXX-XXXX
PLUMBING	TBD	--	(XXX) XXX-XXXX
MECHANICAL	TBD	--	(XXX) XXX-XXXX
CIVIL	TBD	--	(XXX) XXX-XXXX
LANDSCAPE	TBD	--	(XXX) XXX-XXXX



GENERAL NOTES	
NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.	
THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.	
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.	
SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECTS BASIC LAYOUT AND SELECTIONS SUGGESTIONS.	
SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.	
SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.	

BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECTS TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.

THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.

SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMINISTRATION	
THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.	
RESIDENTIAL (R) & BUSINESS (B) MIXED USE OCCUPANCY:	
REGULATION 11-12.8.4 AND 5 STATE:	
(1) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.	
(2) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.	

BUILDING DATA	
PROJECT DESCRIPTION:	CONSTRUCTION OF A 2 1/2 STORY MULTI-FAMILY / OFFICE BUILDING
BUILDING CONSTRUCTION:	LOAD BEARING WOOD STUDS, WOOD ROOF TRUSSES & CONCRETE SLAB ON GRADE.
OCCUPANCY CLASSIFICATION:	RESIDENTIAL (R-2) & BUINESS (B)
MIXED OCCUPANCY:	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> SEPARATION <u>0</u> HR.
CONSTRUCTION TYPE:	I-A I-B II-A II-B II-A II-B IV V-A <u>V-B</u>
MIXED CONSTRUCTION:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> TYPE <u>        </u>
SPRINKLERED:	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
FIRE DISTRICT:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
BUILDING HEIGHT:	37' - 8" AFF NUMBER OF STORIES: 2 1/2
MEZZANINE:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
HIGH RISE:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

ALLOWABLE HEIGHT & AREA (PER IBC TABLE 504.3 & 504.4 & 506.2):		
CATAGORY	ALLOWABLE	ACTUAL
HEIGHT (RES.):	40'-0"	37'-8"
STORIES(RES.):	3 ST.	2 1/2 ST.
AREA PER FLOOR:	9,000 SF	2,604 SF
AREA TOTAL:	18,000 SF	7,197 SF
AREA INCREASE?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
HEIGHT INCREASE?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
GROSS BUILDING AREA		
LEVEL 01:	HEATED & COOLED	1,984 SF
LEVEL 02:	HEATED & COOLED	1,984 SF
LOFT LEVEL:	HEATED & COOLED	1,304 SF
TOTAL GROSS AREA (H/C):		5,272 SF (H/C)
OCCUPANT LOAD (IBC TABLE 1004.5):		
RESIDENTIAL (R):	5,092 SF / 200 SQ.F.T (GROSS) PER PERSON = 26	
TOTAL (R) OCCUPANCY:	26 OCCUPANTS	
BUSINESS (B):	180 SF / 150 SQ.F.T (GROSS) PER PERSON = 2	
TOTAL (R) OCCUPANCY:	2 OCCUPANTS	
TOTAL OCCUPANCY ON SITE:		37 OCCUPANTS
EXITS (IBC TABLE 1006.3.2)		
NUMBER OF EXITS:	REQUIRED 2	PROVIDED 2
TRAVEL DISTANCE		
EXIT ACCESS DESIGN REQUIREMENTS, PER MOST RESTRICTIVE		
CATAGORY	MAX. ALLOWABLE	ACTUAL MAX
EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2):	250 FT (R-2) & 300 FT (B)	XXX FT (R-2) & XXX FT (B)
COMMON PATH OF TRAVEL (IBC TABLE 1004.2.1)	125 FT (R-2) & 100 FT (B)	XXX FT (R-2) & XXX FT (B)
DEAD END CORRIDOR (IBC TABLE 1020.4)	20 FT	XX FT

FIRE SEPARATION							
IBC TABLE 601, 602, 508.3.3		REQ'D HR		DETAIL #	% WALL OPENING	UL RATED ASSEMBLY	
PRIMARY STRUCTURAL FRAME		0					
BEARING WALLS: EXTERIOR INTERIOR		0 0		0			
NON-BEARING WALLS: EXTERIOR INTERIOR		0 0					
FIRE SEPARATION WALLS: EXTERIOR INTERIOR		0 0					
FLOOR CONSTRUCTION		0					
ROOF CONSTRUCTION		0					
ALL INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH IBC-2018, TABLE 803.13							
IBC TABLE 803.13		SPRINKLERED			UNSPRINKLERED		
GROUP	VERT. EXITS / EXIT PASSAGE- WAYS	EXIT ACCESS CORRIDORS / OTHER EXITS	ROOMS & ENCLOSED SPACES	VERT. EXITS / EXIT PASSAGE- WAYS	EXIT ACCESS CORRIDORS / OTHER EXITS	ROOMS & ENCLOSED SPACES	
RESIDENTIAL (R-2)	C	C	C	B	B	C	
BUSINESS (B)	B	C	C	A	B	C	
MINIMUM REQUIRED PLUMBING FIXTURES: PER IBC TABLE 2902.1							
		REQUIRED FIXTURE RATIO		REQUIRED FIXTURES		FIXTURES PROVIDED	
ITEM	MEN	WOMEN	MEN	WOMEN	MEN	WOMEN	UNISEX
TOTAL WATER CLOSETS	1 PER DWELLING UNIT (R-2) & 1 PER 25 FOR THE FIRST 50 & 1 PER 50 FOR THE REMAINDER EXCEEDING 50 (B)		1 (R-2) & 1 (B)	1 (R-2) & 1 (B)	1 (R-2) & 1 (B)	1 (R-2) & 1 (B)	1 (B)
TOTAL LAVATORIES	1 PER DWELLING UNIT (R-2) & 1 PER 40 FOR THE FIRST 80 & 1 PER 80 FOR THE REMAINDER EXCEEDING 80 (B)		1 (R-2) & 1 (B)	1 (R-2) & 1 (B)	1 (R-2) & 1 (B)	1 (R-2) & 1 (B)	1 (B)
DRINKING FOUNTAINS	NOT REQUIRED (R-2) 1 PER 100 (B)		NOT REQUIRED (R-2) 1 FIXTURE (B)		NOT REQUIRED (R-2) 1 FIXTURE (B)		
BATH TUBS / SHOWERS	1 PER DWELLING UNIT (R-2) NOT REQUIRED (B)		1 FIXTURE (R-2) NOT REQUIRED (B)		1 FIXTURE (R-2) NOT REQUIRED (B)		
OTHER	1 KITCHEN SINK PER DWELLING UNIT; 1 AUTOMATIC CLOTHES WASHER CONNECTION PER DWELLING UNIT				1 KITCHEN SINK PER DWELLING UNIT; 1 AUTOMATIC CLOTHES WASHER CONNECTION PER DWELLING UNIT		
PLUMBING CALCULATIONS							
TOTAL OCCUPANCY FOR RESIDENTIAL (R-2) = X PERSONS TOTAL OCCUPANCY FOR RESIDENTIAL (B) = X PERSONS  OCCUPANCY: 50% MALE / 50% FEMALE XX MALE OCCUPANTS & XX FEMALE OCCUPANTS (R-2) XX MALE OCCUPANTS & XX FEMALE OCCUPANTS (B)							
SYMBOL KEY							
A3.0	EXTERIOR ELEV. SYMBOL		1 A5.0	WALL SECTION		A	COLUMN GRID REFERENCE
A7.0	INTERIOR ELEVATION SYMBOL		1 A5.0	DETAIL SECTION CALLOUT		LEVEL 1 100' - 0"	LEVEL/ELEVATION REFERENCE
1 A4.0	BUILDING SECTION		1 A5.0	ENLARGED PLAN/ DETAIL CALLOUT		ROOM Comments 150 SF	ROOM TAG
R	WINDOW TAG		1 DOOR	DOOR TAG		1	REVISION CLOUD & TAG

## PROJECT INFO

Date  
2021.01.22Project No.  
20-095

## ISSUE

NO. REV. DATE DESCRIPTION

## SHEET TITLE

## COVER SHEET



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

**GENERAL CONTRACTOR NOTE:**  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

**DIMENSION NOTES:**  
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

**CABINET & EQUIPMENT NOTES:**  
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

**FINISH NOTES:**  
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

**PLUMBING NOTES:**  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

**FRAMING NOTES:**  
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

**FRAMING IS TO BE AS FOLLOWS:**

**WALLS:**  
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

**FIRST FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" MANUFACTURED TRUSS JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**SECOND FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

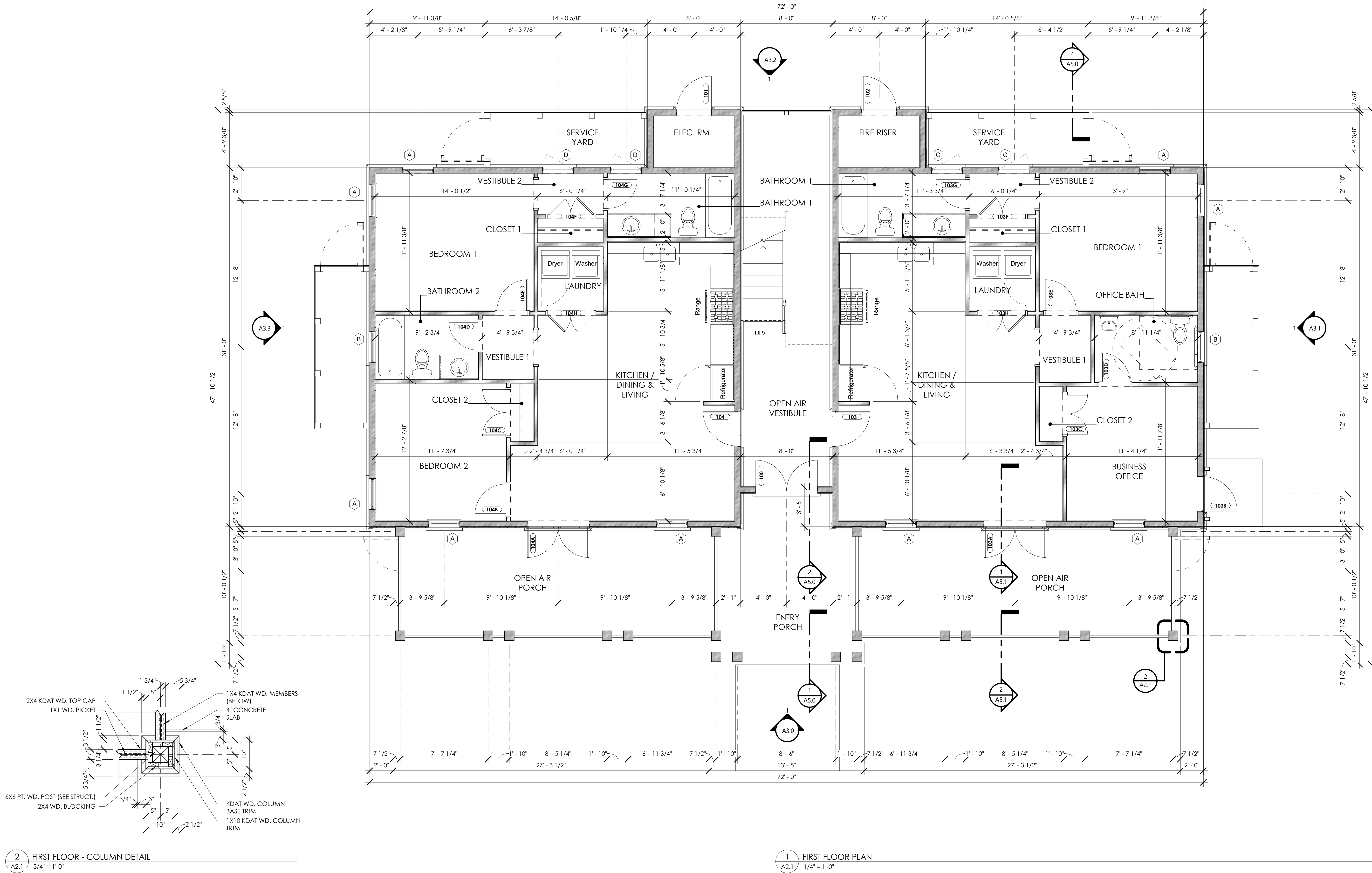
**PORCH FLOOR SYSTEM:**  
5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GLUED AND NAILED ON 2X12 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

**ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**ATTIC CEILING JOISTS / PORCH CEILING:**  
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

**ROOF RAFTERS:**  
1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL OR  
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

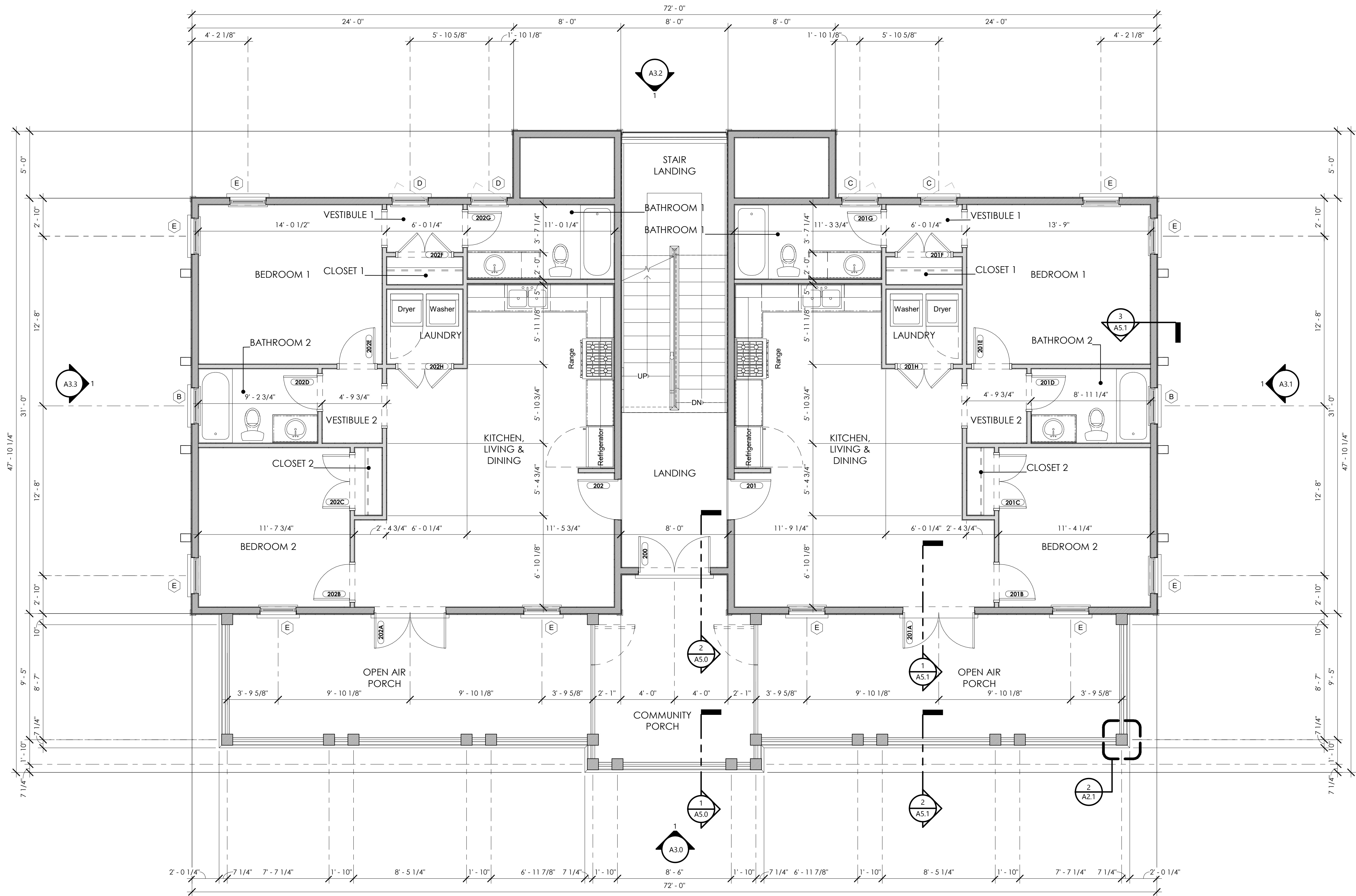
**ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.**



2 FIRST FLOOR - COLUMN DETAIL  
A2.1 3/4" = 1'-0"

1 FIRST FLOOR PLAN  
A2.1 1/4" = 1'-0"





1 SECOND FLOOR  
1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

**GENERAL CONTRACTOR NOTE:**  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

**DIMENSION NOTES:**  
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

**CABINET & EQUIPMENT NOTES:**  
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

**FINISH NOTES:**  
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.  
OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

**PLUMBING NOTES:**  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

**FRAMING NOTES:**  
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

**FRAMING IS TO BE AS FOLLOWS:**

**WALLS:**  
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

**FIRST FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" MANUFACTURED TRUSS JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**SECOND FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**PORCH FLOOR SYSTEM:**  
5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GLUED AND NAILED ON 2X12 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

**ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**ATTIC CEILING JOISTS / PORCH CEILING:**  
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

**ROOF RAFTERS:**  
1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.  
OR  
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

**ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.**

PROJECT INFO

Date	2021.01.22
Project No.	20-095

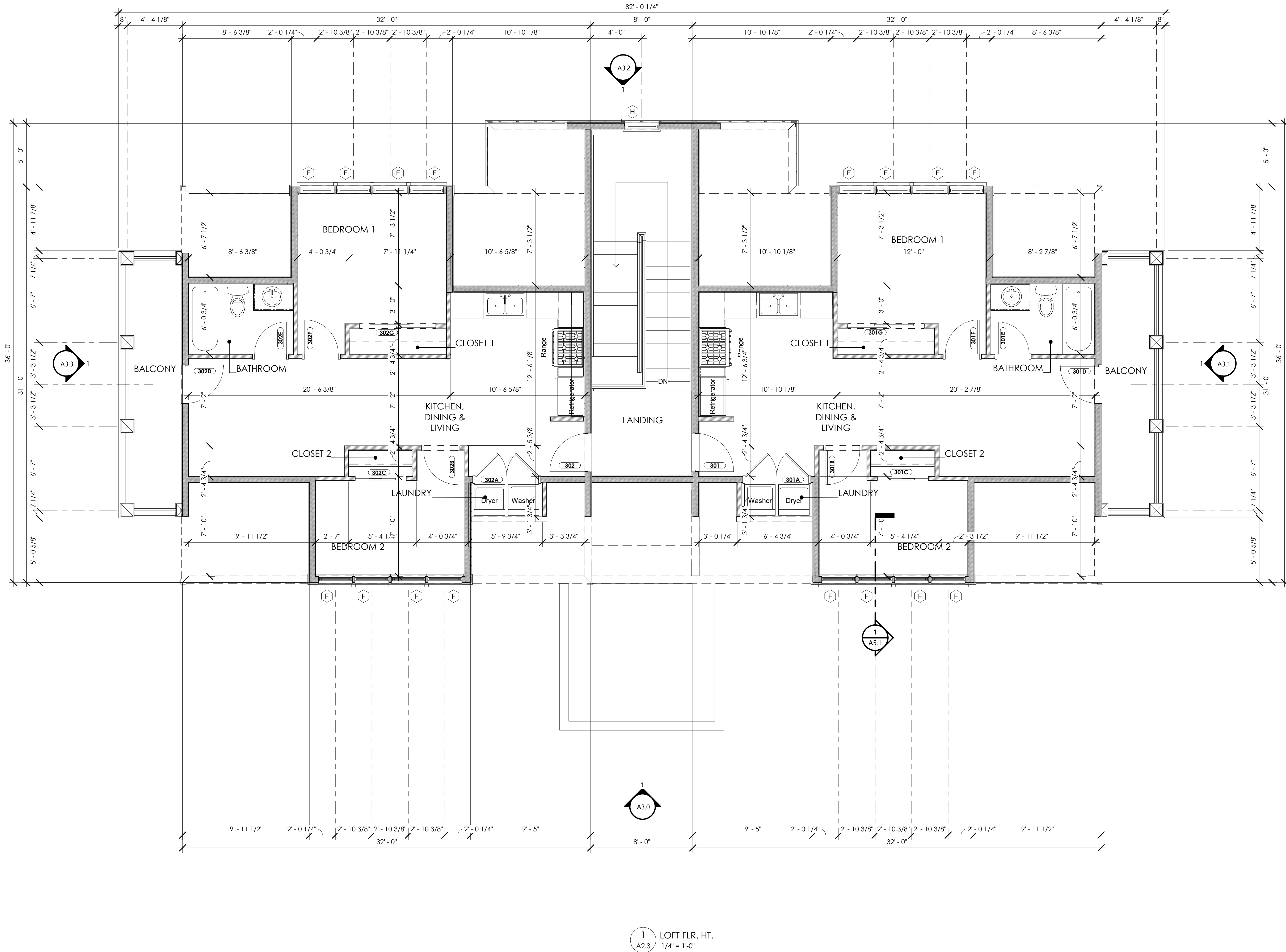
ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

SHEET TITLE

SECOND FLOOR  
PLAN





SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:  
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N.  
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:  
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:  
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:  
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:  
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" MANUFACTURED TRUSS JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

SECOND FLOOR SYSTEM:  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:  
5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GLUED AND NAILED ON 2X12 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

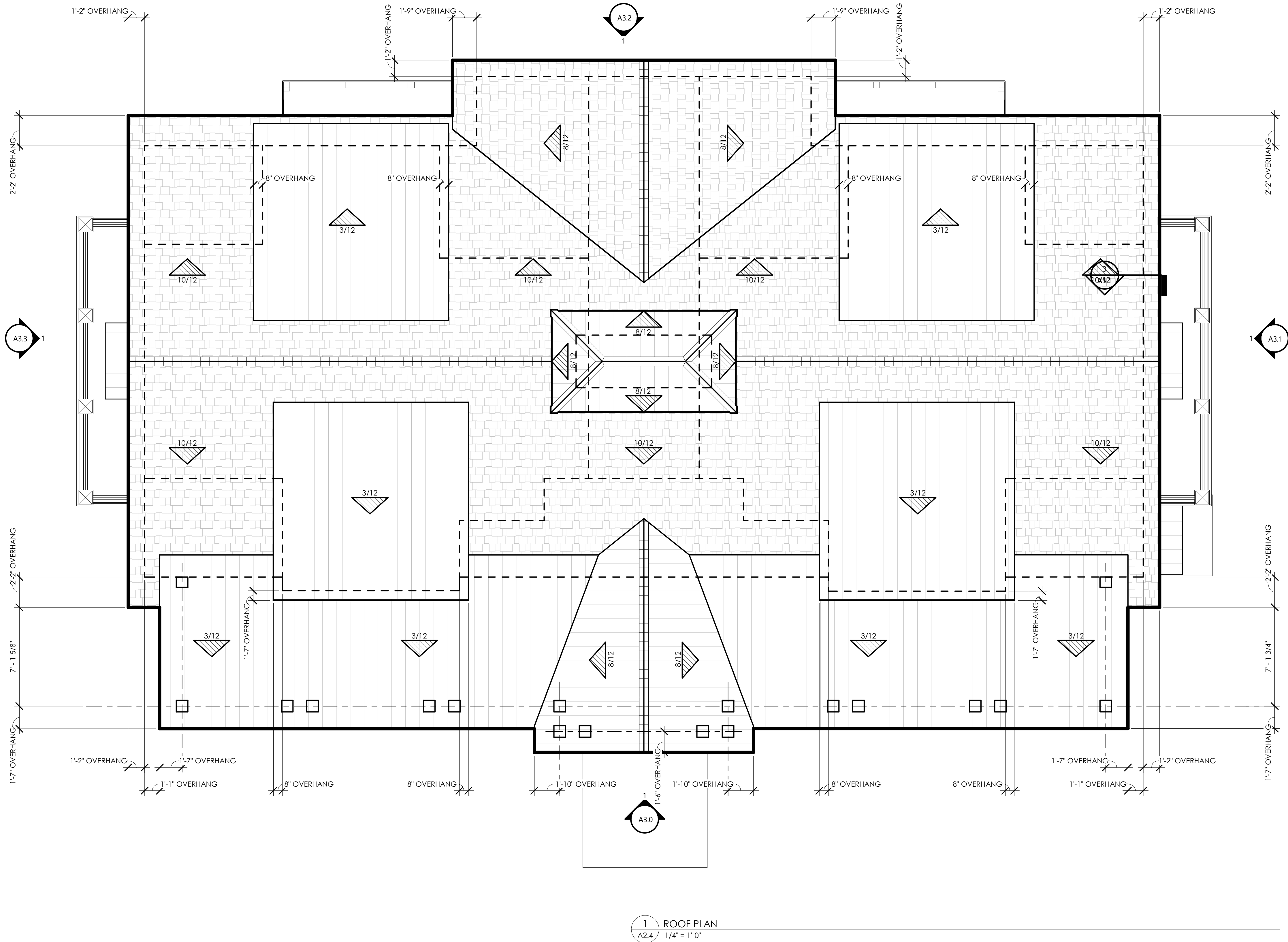
ATTIC CEILING JOISTS / PORCH CEILING:  
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:  
1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.

OR  
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.





SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

**GENERAL CONTRACTOR NOTE:**  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

**DIMENSION NOTES:**  
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N.  
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

**CABINET & EQUIPMENT NOTES:**  
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

**FINISH NOTES:**  
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.  
OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

**PLUMBING NOTES:**  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

**FRAMING NOTES:**  
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

**FRAMING IS TO BE AS FOLLOWS:**

**WALLS:**  
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

**FIRST FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" MANUFACTURED TRUSS JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**SECOND FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 14" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**PORCH FLOOR SYSTEM:**  
5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GLUED AND NAILED ON 2x12 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

**ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**ATTIC CEILING JOISTS / PORCH CEILING:**  
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

**ROOF RAFTERS:**  
1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.  
OR  
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

**ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.**

© COPYRIGHT 2010 COURT ATKINS GROUP  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date	2021.01.22
Project No.	20-095

ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

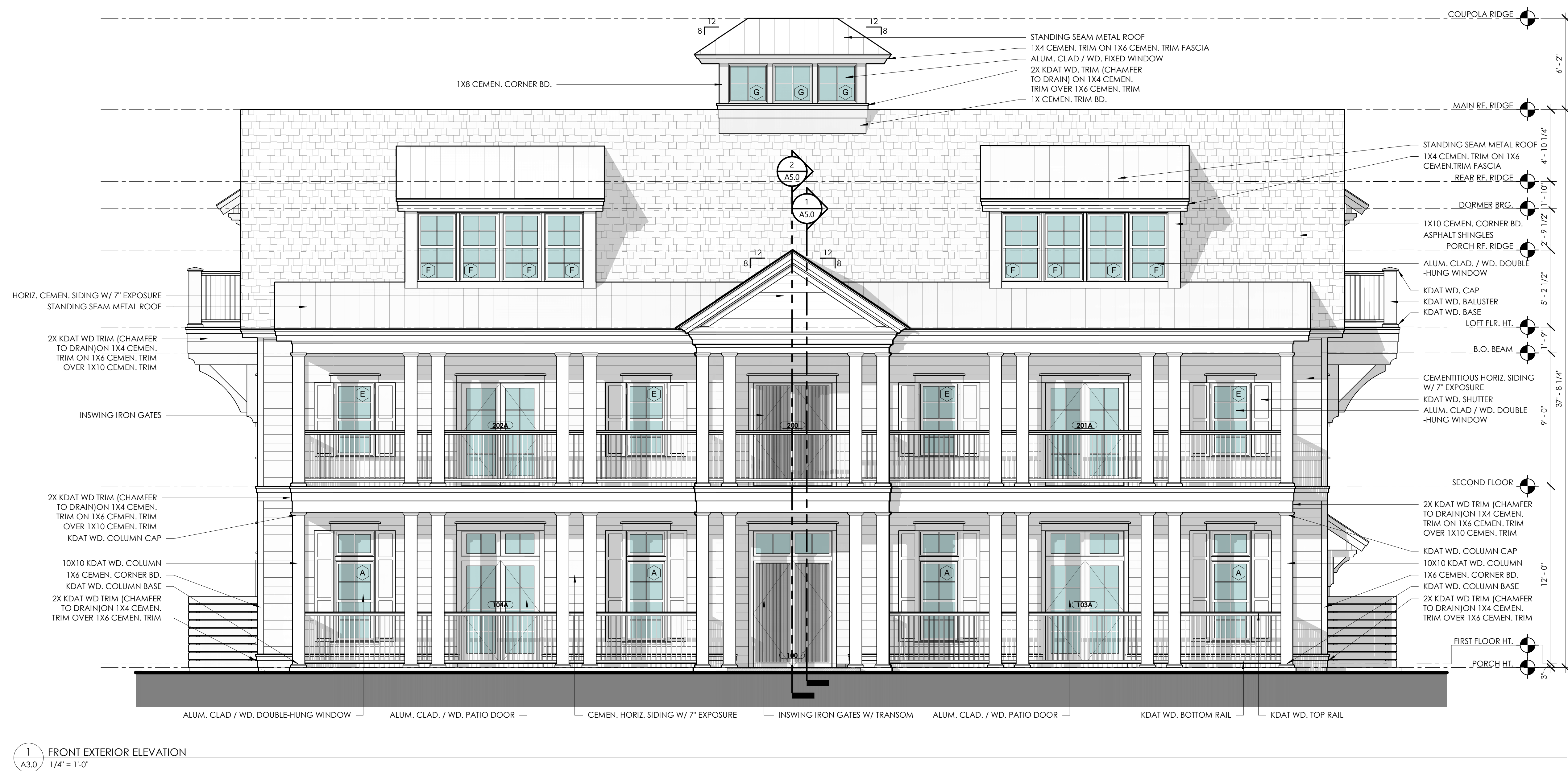
SHEET TITLE

ROOF PLAN



## OLD VILLAGE SQUARE - BUILDING 4

6 MARIANNA WAY  
BLUFFTON, SC 29910



© COPYRIGHT 2019 COURT ATKINS GROUP  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

## PROJECT INFO

Date  
2021.01.22

Project No.  
20-095

## ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

## SHEET TITLE

FRONT EXTERIOR  
ELEVATION

A3.0

6 MARIANNA WAY  
BLUFFTON, SC 29910

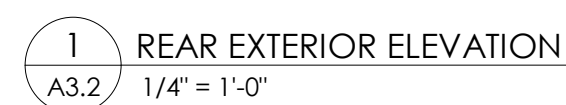
## A3.1





6 MARIANNA WAY  
BLUFFTON, SC 29910

## A3.2





OLD VILLAGE SQUARE - BUILDING 4

6 MARIANNA WAY  
BLUFFTON, SC 29910

## PROJECT INFO

2021.01.22

Project No.  
20-095

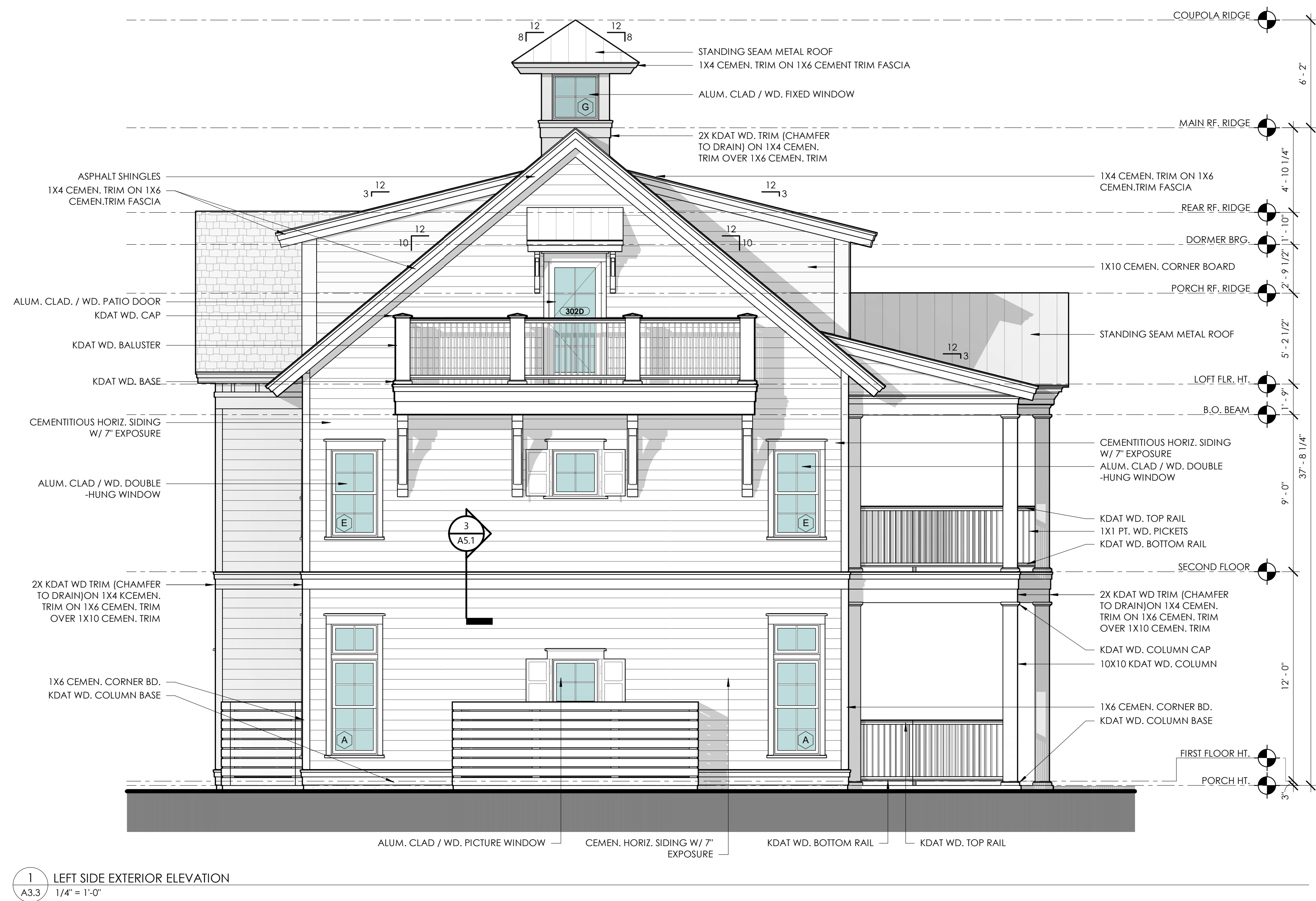
## ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

**SHEET TITLE**

LEFT SIDE EXTERIOR  
ELEVATION

### A3.3









OLD VILLAGE SQUARE - BUILDING 4

6 MARIANNA WAY  
BLUFFTON, SC 29910

© COPYRIGHT 2019 COURT ATKINS GROUP -  
THIS DRAWING IS THE PROPERTY OF THE  
ARCHITECT AND IS NOT TO BE REPRODUCED IN  
WHOLE OR IN PART BY ANY MEANS OR METHOD  
WITHOUT THE EXPRESS WRITTEN CONSENT OF THE  
ARCHITECT. ANY UNAUTHORIZED  
REPRODUCTION OR REUSE OF THESE  
DOCUMENTS WILL RESULT IN LEGAL ACTION.

## PROJECT INFO

Date  
2021.01.22

Project No.

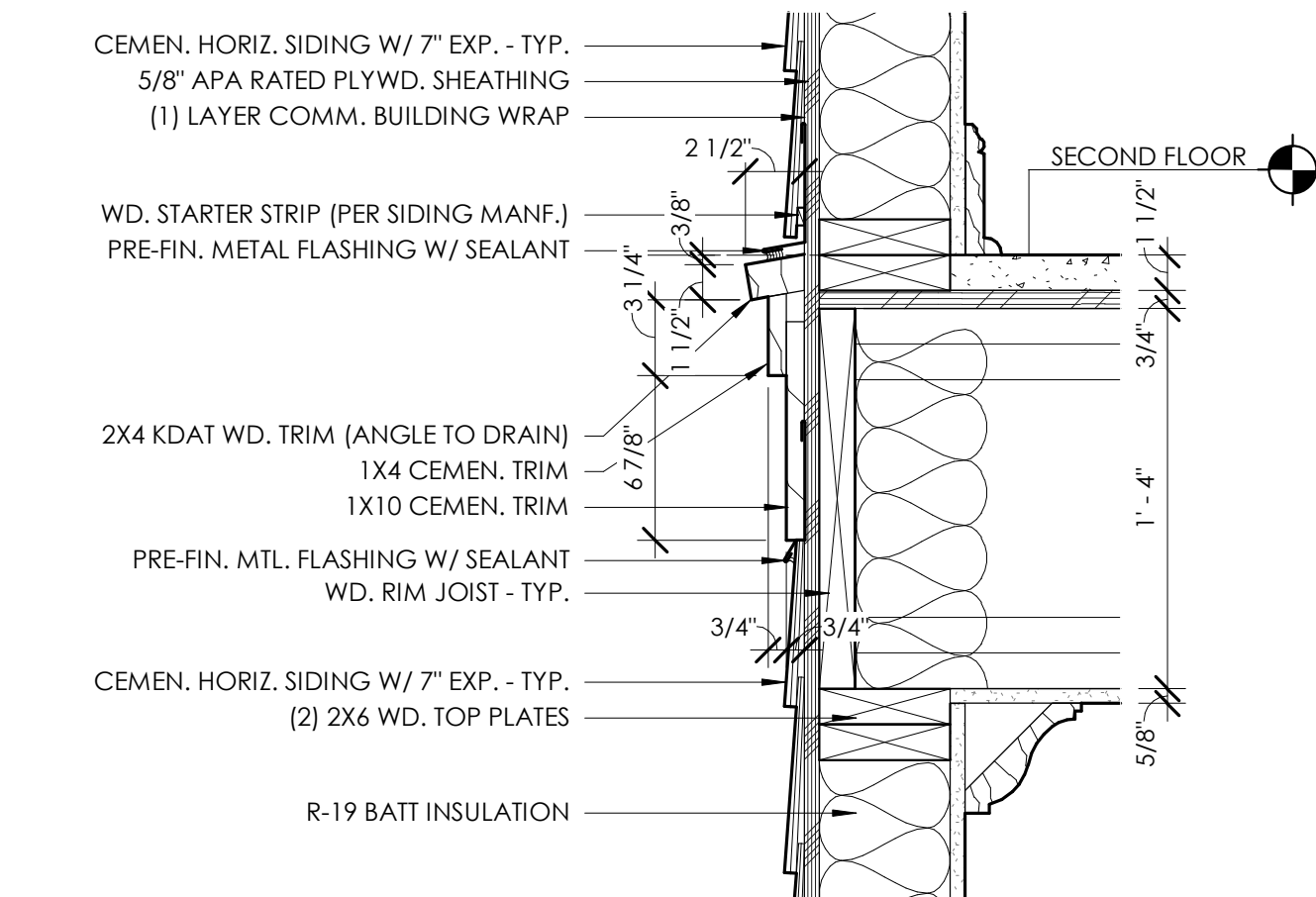
## ISSUE

Q.	REV. DATE	DESCRIPTION
----	-----------	-------------

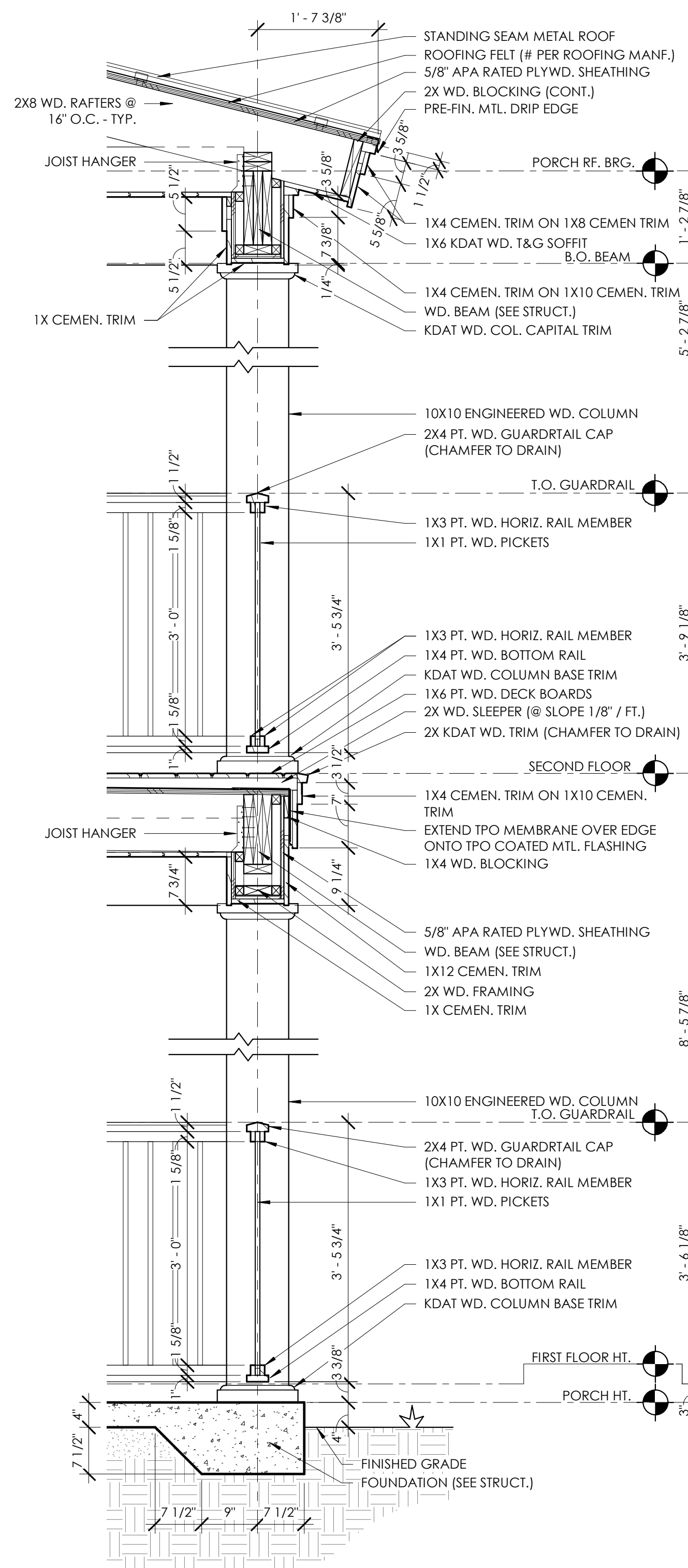
## HEET TITLE

## DETAILS

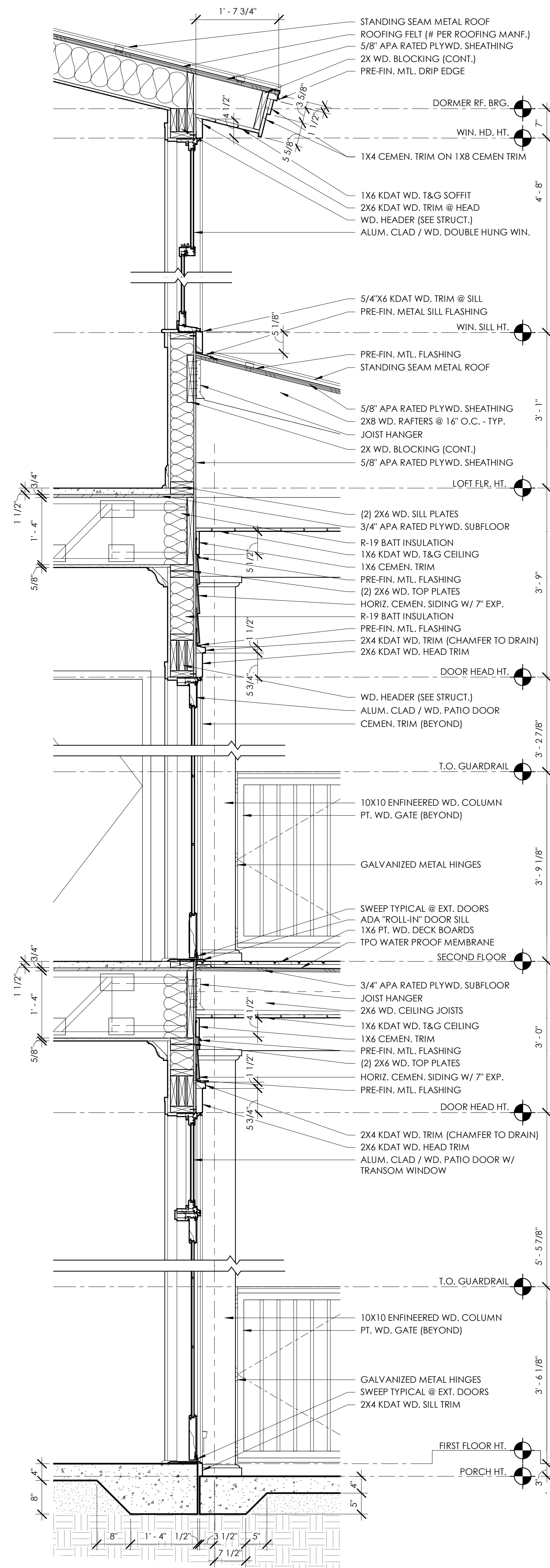
## A5.1



3 TYP. WATERTABLE  
A5.1 1 1/2" = 1'-0"



2 WALL SECTION @ TYP. PORCH  
A5.1 3/4" = 1'-0"

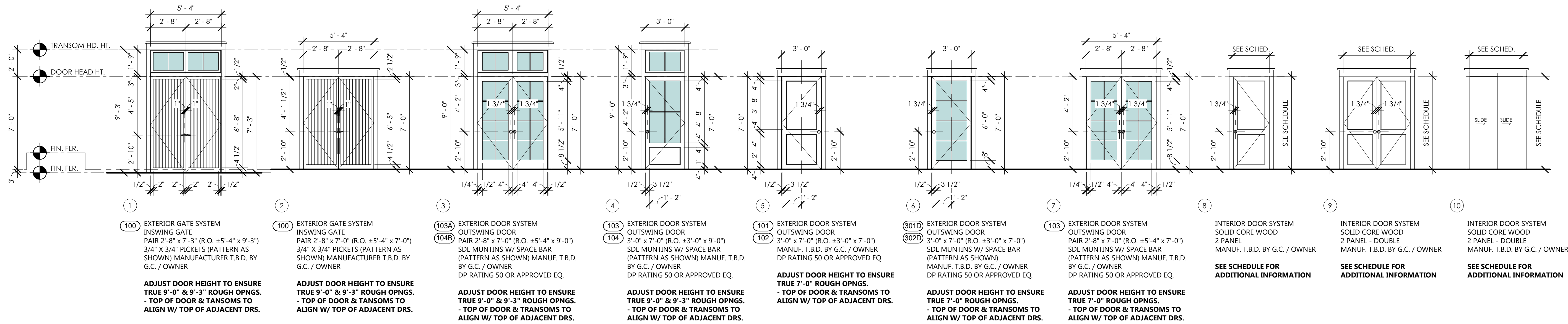


1 WALL SECTION @ TYP. EXT. WALL  
A5.1 3/4" = 1'-0"

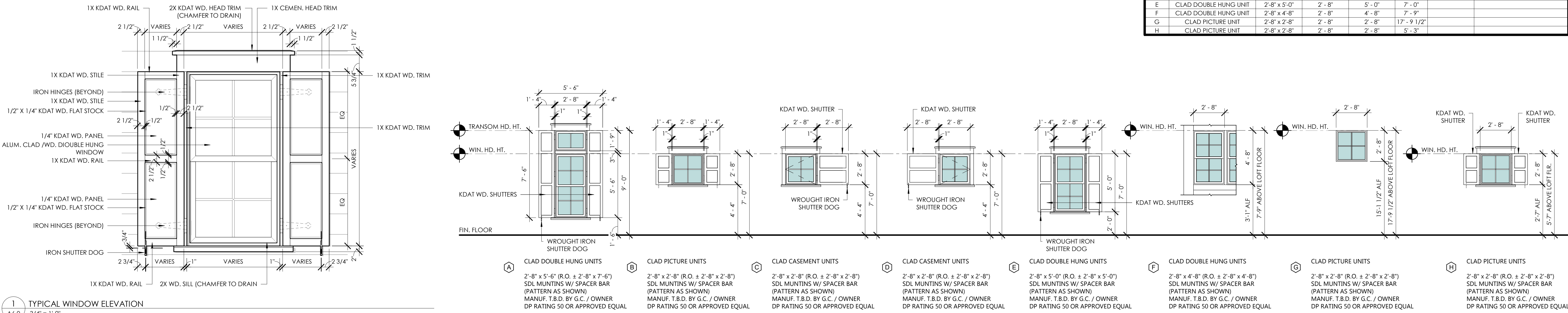


DOOR SCHEDULE																	
DOOR								FRAME				HARDWARE					COMMENTS
NO.	ROOM	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	RATED	MATL	FINIS	H	RATED	LOCK	CLOSER	STOP	PANIC	MISC	
100	ENTRY PORCH	5'-4"	9'-3"	1	WROUGHT IRON	PWDR. COAT		WD.	PTD.			ENTRY			X		
101	ELEC. RM.	3'-0"	7'-0"	5	HOLLOW MTL.	PTD.		H.M.	PTD.			SECURITY					
102	FIRE RISER	3'-0"	7'-0"	5	HOLLOW MTL.	PTD.		H.M.	PTD.			SECURITY					
103	KITCHEN / DINING & LIVING	3'-0"	9'-0"	4	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			ENTRY			X		
103A	OPEN AIR PORCH	5'-4"	9'-0"	3	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			SECURITY					
103B	BUSINESS OFFICE	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			SECURITY					
103C	CLOSET 2	3'-6"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
103D	BUSINESS OFFICE	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
103E	BEDROOM 1	2'-8"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
103F	CLOSET 1	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
103G	BATHROOM 1	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
103H	LAUNDRY	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
104	KITCHEN / DINING & LIVING	3'-0"	9'-0"	4	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			ENTRY		X			
104A	OPEN AIR PORCH	5'-4"	9'-0"	3	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			ENTRY					
104B	KITCHEN / DINING & LIVING	2'-8"	6'-11 1/2"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
104C	BEDROOM 2	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
104D	VESTIBULE 1	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
104E	VESTIBULE 1	2'-8"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
104F	VESTIBULE 2	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
104G	VESTIBULE 2	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
104H	KITCHEN / DINING & LIVING	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
200	COMMUNITY PORCH	5'-4"	7'-0"	2	WROUGHT IRON	PWDR. COAT		WD.	PTD.			ENTRY					
201	KITCHEN, LIVING & DINING	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			ENTRY		X			
201A	OPEN AIR PORCH	5'-4"	7'-0"	7	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.			ENTRY					
201B	BEDROOM 2	2'-8"	6'-11 1/2"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
201C	CLOSET 2	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.			PASSAGE					
201D	BATHROOM 2	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			
201E	BEDROOM 1	2'-8"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.			PRIVACY		X			

DOOR SCHEDULE																
NO.	ROOM	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	RATED	FRAME		HARDWARE						COMMENTS
								MATL	PINS	LOCK	CLOSER	STOP	PANIC	MISC		
201F	CLOSET 1	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
201G	BATHROOM 1	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
201H	LAUNDRY	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
202	KITCHEN, LIVING & DINING	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.	ENTRY		X				
202A	OPEN AIR PORCH	5'-4"	7'-0"	7	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.	ENTRY						
202B	KITCHEN, LIVING & DINING	2'-8"	6'-11 1/2"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
202C	BEDROOM 2	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
202D	VESTIBULE 2	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
202E	VESTIBULE 2	2'-8"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
202F	VESTIBULE 1	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
202G	VESTIBULE 1	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
202H	KITCHEN, LIVING & DINING	4'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
301	KITCHEN, DINING & LIVING	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.	ENTRY						
301A	KITCHEN, DINING & LIVING	5'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
301B	KITCHEN, DINING & LIVING	2'-8"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
301C	BEDROOM 2	4'-0"	7'-0"	10	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY						
301D	BALCONY	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.	ENTRY						
301E	KITCHEN, DINING & LIVING	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
301F	BEDROOM 1	2'-8"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
301G	CLOSET 1	6'-0"	7'-0"	10	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
302	KITCHEN, DINING & LIVING	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.	ENTRY		X				
302A	LAUNDRY	5'-0"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						
302B	BEDROOM 2	2'-8"	7'-0"	9	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
302C	CLOSET 2	4'-0"	7'-0"	10	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY						
302D	BALCONY	3'-0"	7'-0"	6	ALUM. CLAD / WD.	F.A.F.		WD.	F.A.F.	ENTRY						
302E	BATHROOM	2'-6"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
302F	KITCHEN, DINING & LIVING	2'-8"	7'-0"	8	SOLID CORE MDF	PTD.		WD.	PTD.	PRIVACY		X				
302G	BEDROOM 1	6'-0"	7'-0"	10	SOLID CORE MDF	PTD.		WD.	PTD.	PASSAGE						



WINDOW SCHEDULE						
TYPE MARK	WINDOW TYPE	DESCRIPTION	R.O.		HEAD HEIGHT	DESIGN PRESSURE
			WIDTH	HEIGHT		
A	CLAD DOUBLE HUNG UNIT	2'-8" x 5'-0"	2'-8"	7'-6"	9'-0"	
B	CLAD TRANSOM UNIT	2'-8" x 2'-8"	2'-8"	7'-0"	7'-0"	
C	CLAD CASEMENT UNIT	2'-8" x 2'-8"	2'-8"	2'-8"	7'-0"	
D	CLAD CASEMENT UNIT	2'-8" x 2'-8"	2'-8"	2'-8"	7'-0"	
E	CLAD DOUBLE HUNG UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	7'-0"	
F	CLAD DOUBLE HUNG UNIT	2'-8" x 4'-8"	2'-8"	4'-8"	7'-9"	
G	CLAD PICTURE UNIT	2'-8" x 2'-8"	2'-8"	2'-8"	17'-9 1/2"	
H	CLAD PICTURE UNIT	2'-8" x 2'-8"	2'-8"	2'-8"	5'-3"	





©2020 WJK LTD.  
DESIGN CONCEPTS, DRAWING, SHEETS,  
LOGOS, SPECIFICATIONS, DETAILS,  
WRITTEN MATERIAL SHALL NOT BE USED  
OR REPRODUCED IN WHOLE OR IN PART  
IN ANY FORM WITHOUT PRIOR WRITTEN  
CONSENT OF WJK LTD.  
THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS  
FOR

6 SHULTS ROAD

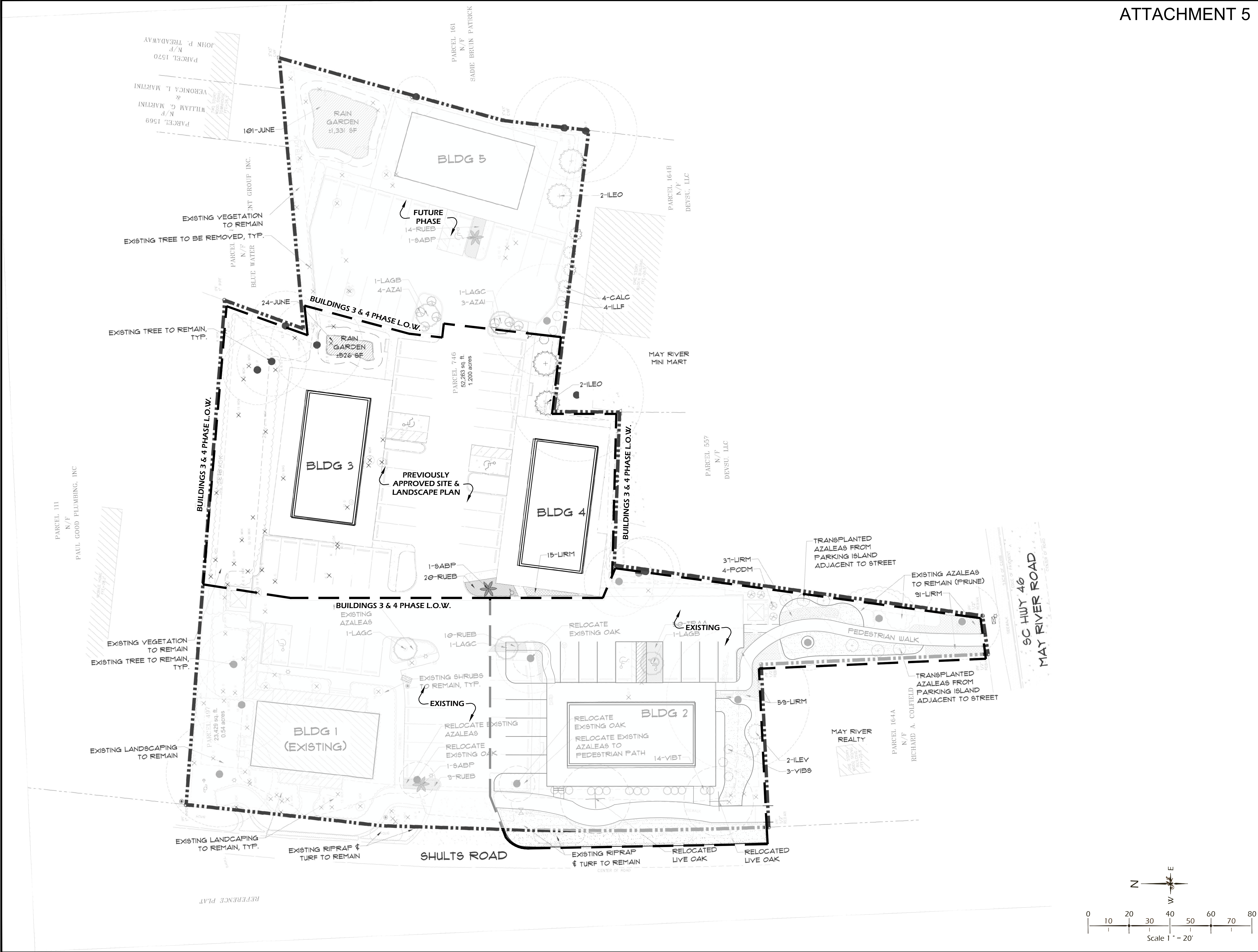
BLUFFTON, SOUTH CAROLINA

DATE:	JAN 15, 2021
PROJECT NO.:	20106.01
DRAWN BY:	JM
CHECKED BY:	DK

REVISIONS:

DRAWING TITLE  
OVERALL SITE PLAN -  
BUILDINGS 3 & 4 PHASE

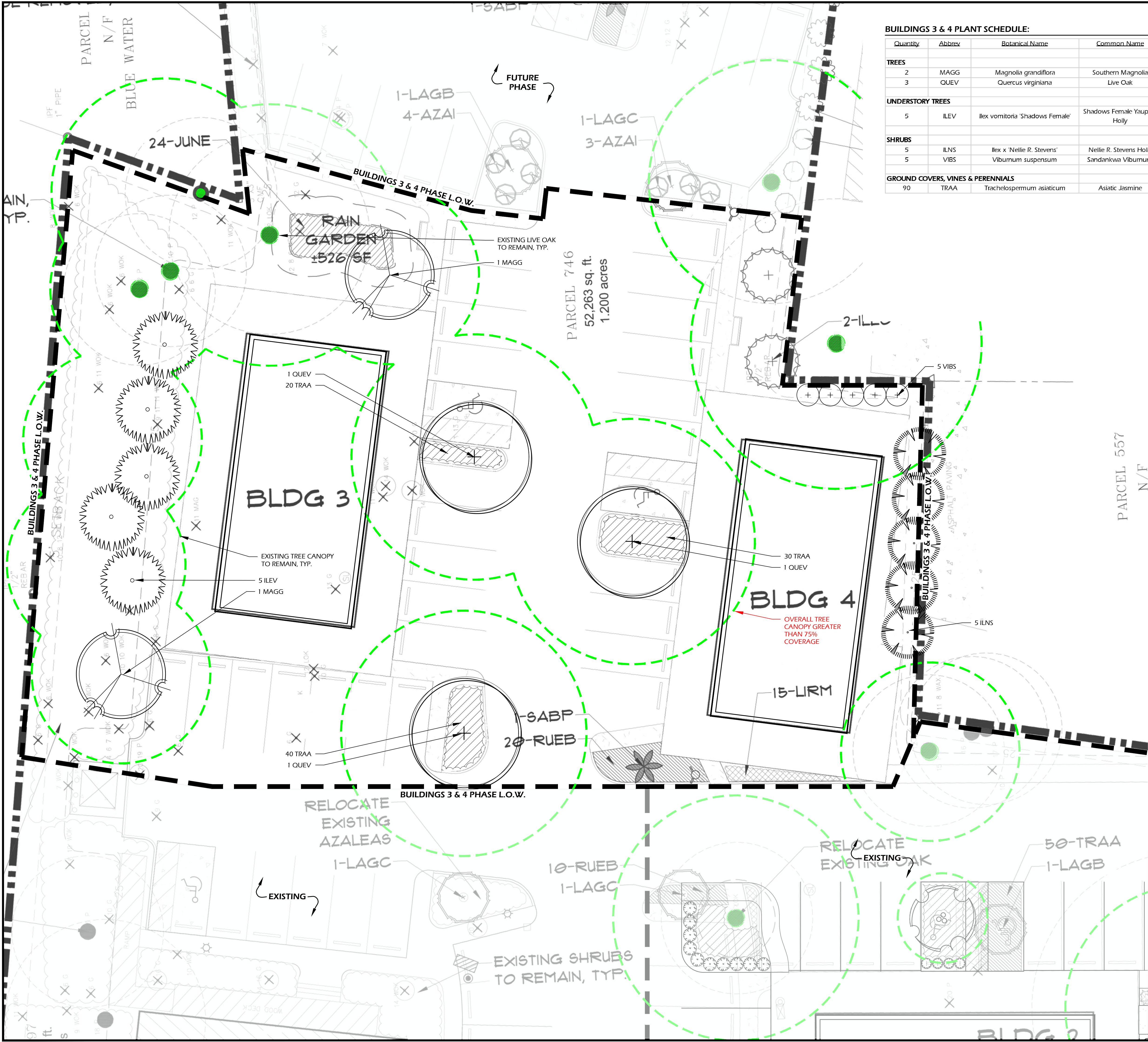
DRAWING NUMBER  
L100





BUILDINGS 3 & 4 PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
2	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	-	Full to ground
3	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4'	Full
UNDERSTORY TREES								
5	ILEV	Ilex vomitoria 'Shadows Female'	Shadows Female Yaupon Holly	5'-6'	3'-4'	15 gal.	-	Tree form, Multi-stem, Full
SHRUBS								
5	ILNS	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	4'-5'	2'-3'	15 gal.	-	Full
5	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36'	24'-30'	7 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
90	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full



SITE DEVELOPMENT PLANS  
FOR  
6 SHULTS ROAD  
BLUFFTON, SOUTH CAROLINA

DATE: JAN 15, 2021  
PROJECT NO.: 20106.01  
DRAWN BY: JM  
CHECKED BY: DK

REVISIONS:

DRAWING TITLE  
PLANTING PLAN -  
BUILDINGS 3 & 4 PHASE

DRAWING NUMBER  
L500





# ATTACHMENT 6 PLAN REVIEW COMMENTS FOR COFA-01-21-014892

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

---

**Plan Type:** Historic District **Apply Date:** 01/11/2021  
**Plan Status:** Active **Plan Address:** 6 Marianna Way Way  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:** R610 039 000 0746 0000  
**Plan Description:** A request by Court Atkins Architects, on behalf of the owner, Herkus, LLC, for review of a Certificate of Appropriateness to allow the construction of a new 2 1/2 -story multifamily residential building of approximately 5,328 SF located at 6 Marianna Way, Building 4 in the Old Village Square development, in the Old Town Bluffton Historic District and zoned Neighborhood General – HD. [[Building 4-OVS]]  
**STATUS [1-12-2021]:** The application received 1-11-2021 is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the 1-20-2021 meeting. Please note all comments provided at this meeting reflect the 1-11 submittal and do not take into consideration the revised drawings submitted 1-19-2021.

---

## Staff Review (HD)

**Submission #: 1**      Received: 01/15/2021      Completed: 01/19/2021

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	01/19/2021	Katie Peterson	Revisions Required

**Comments:**

1. Multi-family is not a permitted use in the Neighborhood General - HD zoning district. The plan proposes a multi-family structure. Revise use to one permitted by the UDO. (4.3)
2. Applicants are required to provide notice via certified mail to all owners of property, including any Property Owners Association (POA) abutting, adjacent or contiguous to the property that is subject of the application within fifteen (15) days of the UDO Administrator's acceptance of a completed application. Upon submittal of the Final Application, a list of adjacent property owners and a letter template will be sent. (3.2.4.)
3. At time of final submittal the following fields on the application must be updated: address is 6 Marianna Way, as this is a new application, there are no previous applications and all fields must be completed, the existing square footage is 0, the plans must be printed to scale. (Applications Manual)
4. This structure will be reviewed as an Additional Building Type. The proposed structure most closely meets the characteristics of the Mansion Apartment House (use, size, number of units, appearance, defined central primary entrance, center hall in format), however does not meet all of the characteristics (no full-length shared porch, exceeds width, unit SF slightly under). It does not meet the characteristics of a Center Hall House (does not meet use, max SF, have side or rear wings secondary to the mass and exceeds typical width), with the exception of the footprint. Mansion Apartment House building types are not permitted in the NG-HD zoning district, however, this structure would be reviewed as an Additional Building Type with characteristics of the Mansion Apartment House. \*Note: the building type may be altered when the use and other architectural standards are updated.
5. Overall building proportions and individual building features shall have a proportional relationship with one another, as well as the overall building form. The central portico appears under-scaled relative to the overall width of both buildings. Additionally, the glazing on the rear elevations appears to have under-scaled glazing resulting in large areas of blank walls. (Sec. 5.15.5.F.4.a.)
6. Residential structures shall have a first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade. \*Note: See comment 1 (5.15.5.F.1.c.)
7. Porches shall be a minimum of 6' in depth. The side porches on the first floor are 5' deep. The depth must be increased to meet the minimum depth requirement. \*Note: See comment 1 (5.15.6.E.5.a)
8. Porch height shall be 30" minimum from grade to top of stairs. The porches are currently proposed at grade and must be raised to no less than 30". \*Note: See comment 1 (5.15.6.E.5.c.)
9. The Architectural standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The porches on either side of the second floor do not have any access and are not functional. Provide access or reconfigure the ends of the structure to a more traditional configuration. (5.15.6.A.)
10. Doors are permitted to be wood, metal or metal-clad. The door schedule lists doors 101 and 102, located on the rear exterior elevation, as insulated fiberglass. The door material must be revised to a permitted material (5.15.6.I.2.b.)
11. Roofs are permitted to be gabled, hipped, and shed. The structure proposes the use of a half-hipped roof. A determination on the appropriateness of this alternate roof shape is required prior to approval. (5.15.6.J.1.a.)
12. Rooflines shall be simple, utilizing gables, hips, and sheds, or combinations of these basic forms. Roofs shall correspond to the major massing of the building; roof forms that overwhelm the mass of the primary building form and complicated rooflines are to be avoided. As the proposed structure incorporates hip, gable, half-gable and shed roofs, the number of roof profiles is complicated by the number of materials proposed on the structure. Consider revising the roofing material to be single material. (5.15.5.F.2.b.)
13. The Old Town Bluffton Historic District embodies a diverse community character. Structures range from stately homes, unique shops, historic structures nestled among new construction infill. The proposed building plans for 6 and 10 Marianna Way are identical. This is not representative of the architectural diversity of Old Town Bluffton Historic District, nor does this exist elsewhere within the District. Building elements should be reconsidered to introduce variation while maintaining consistency with the general character of the surrounding area. In order to ensure consistency with the existing nature and character of the surrounding area, elements of the buildings should be revised to maintain the same general character of the development while introducing variation into the design. (3.18.3.D.)
14. For the final application provide architectural details of the railings and balusters, corner board trim, water table detail, shutter dog profile, and a wall section through the eave depicting the material configuration and dimensions and a revised Landscape Plan as the footprint configuration has changed. (Applications Manual)

Beaufort Jasper Water and Sewer Review	01/19/2021	James Clardy	Approved with Conditions
--	------------	--------------	--------------------------

**Comments:**

1. The project is under construction, pending issuance of the close-out and permit to operate.

Building Safety Review	01/19/2021	Richard Spruce	Approved with Conditions
------------------------	------------	----------------	--------------------------

**Comments:**

1. For Type V construction, building walls located 10 feet or less from the property line must be 1 hour rated.

HPRC Review	01/19/2021	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

**Comments:**



1. Service yards are to be located in a rear or side yard location not facing a street and away from all public vantage. As the service yard will be visible from a public vantage on all elevations, special consideration shall be given to the screening of the service yard. Additionally, provide location of electric meters. (5.15.5.10.)

2. A space under a sloping roof that has the line of intersection of the roof and the exterior wall supporting the roof not more than 3 feet above the floor level, and in which space the possible floor area with head room of 5 feet or more occupies between 30 and 70 percent of the total floor area of the story directly beneath. If the possible floor area with head room of 5 feet or more occupies more than 70 percent of the total floor area of the story directly beneath, then that space shall be considered a full story. The third story appears to have significant area which has possible floor area with head room of 5 feet or more which has not been included in the SF calculations. The square footage calculations will need to be updated to reflect this calculation.

Additionally, there are discrepancies between the SF labels within the rooms, the narrative, and the leader line calculations (the coversheet is missing the numbers). While it is expected that the leader lines and room labels will vary slightly (interior vs exterior wall measurements), the room labels and leader line calculations exceed 70% of the floor beneath and would constitute a 3rd story. (5.15.5.F.1.e.)

Addressing Review	01/19/2021	Nick Walton	Approved
-------------------	------------	-------------	----------

**Comments:**

1. Address is 6 Marianna Way.

Transportation Department Review - HD	01/19/2021	William Howard	Approved
--	------------	----------------	----------

**Comments:**

1. No comment.

Watershed Management Review	01/19/2021	William Baugher	Approved
-----------------------------	------------	-----------------	----------

**Comments:**

1. See DPA-06-17-011010.

**Plan Review Case Notes:**

1. Additional comments may be provided at the HPRC meeting based off of discussion.